



4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080

www.4SeasonsHI.com 1-877-547-7383

buyer

street

Town nj xxxxx

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: March 31, 2014 10am-2:30pm Monday
Client Name: buyer (buyer@gmail.com)
Emails: lawyer@gmail.com
Inspection Address: # street town,nj xxxxx
Inspected by: Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: ~1973 (~41 yrs.)
Style: Single family ranch
Main Entrance Faces: S
State of Occupancy: occupied
Weather Conditions: Rain, 35°F
Ground cover: wet

Home Inspection:	\$---.00
Termite:	INCL.
Radon	\$---.00
Total:	\$ ---.00

Paid by: check #5101

Cc: Lawyer

Main Concerns (p.2-4)* and detailed Summary follows this page (5-38)

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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MAIN CONCERNS*: Recommend qualified contractors or licensed professionals further evaluate, address *defects* and/or make repairs *before closing*.¹ Responsibilities of repairs and negotiations are not part of a home inspection and should be discussed with your Attorney. **READ entire REPORT.**

1. **MAINTENANCE/UPKEEP:** *The home has been neglected and poorly maintained for a long time.* All systems (HVAC “heating & cooling,” plumbing, electrical, roof, exterior siding/trim/windows/deck, bathrooms, kitchen, etc.) need upgrades and repairs throughout the home. There was exterior and interior damage from leaking roof, gutters, and wood destroying insects. Have a structural carpenter and building contractor evaluate all water & wood destroying insect damage to home including all concealed damage. All dark staining should be evaluated for mold or environmental hazards (beyond scope of a home inspection).
2. **ROOF/LEAKING:** There was leaking into interior of home; water stains/leaking and damage (garage, around chimney/attic, skylights, etc.). There was darkening on roof sheathing (plywood) or possible mold-like; multi-layer roof, poor ventilation & high humidity. Have a qualified roofer evaluate for roof tearoff, replace damaged roof structure & sheathing (including mold-like areas), rakes, fascia, soffits, eaves, replace roof, flashings, gutters and add proper ventilation. Have contractor evaluate & rule out any concealed damage.
3. **EXTERIOR ROT/INTERIOR DAMAGE:** There was evidence of carpenter ant frass/bodies & chewed drywall & joint tape- have structural carpenter evaluate and rule out or determine any hidden damage. There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all damage and make repairs. There was extensive damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork; water, carpenter bee, carpenter ant, wood pecker. A siding contractor and structural carpenter must evaluate extent of damage on exterior and interior of home including any concealed damage and make repairs. There were cracks on foundation and interior structural concerns (wall cracks, canted doorways/closets, temporary screw jacks under sagging/twisted joists, etc.); have structural contractor or engineer evaluate and advise on all repairs.
4. **CHIMNEY:** Obtain all closed permits for installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety.
5. **HVAC:** There was no heat source in the basement bathroom, inadequate heat in bedroom #2 and finished basement. Obtain all closed permits for these rooms or additions including HVAC (heating & cooling); inadequate heating. Recommend the contractor remove the old gas space heaters; safety concerns. The furnace was original to home or approximately 41 yrs. Old. Unit was in poor condition; flame distortion, flame rollout (safety hazard/dangerous), rust, corrosion, poorly maintained. Have an HVAC contractor evaluate the furnace and cooling systems for replacements. Have the contractor evaluate bedroom #2, basement bathroom and finished basement for heating & cooling sources.

6. **STRUCTURE**: There were structural modifications made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.) . There were large cracks on exterior foundation, cracks in interior, canted doorways/closets, sloping floors, humps on flooring, temporary screw jack in basement, etc. Have structural professional evaluate (engineer, building contractor/foundation contractor, etc.) evaluate the home's structure including modifications, water & wood destroying insect damage and advise on all structural repairs.
7. **DECK**: Deck was built a long time ago and needs repairs/upgrades for safety. Have a structural carpenter evaluate deck for repairs/upgrades.
8. **PLUMBING**: Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in basement bathroom; need heat in bathrooms. The bathroom needs to have properly working exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting. There was older plumbing in home (piping, valves, fittings, fixtures) and bathrooms and kitchen. Have a building contractor and licensed plumber evaluate home for plumbing and kitchen & bathroom upgrades. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection.
9. **ELECTRICAL**: Have electrician separate & isolate the neutrals and grounds in the sub panel for safety. Recommend a licensed electrician evaluate panel and correct concerns. There are no spares in the main panel for future use. Recommend upgrading main panel; push-o-matics are a very old panel and difficult/expensive to obtain parts or breakers. Recommend adding GFCI outlets on exterior and where damp or wet for safety. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets. Have electrician clean-up/correct all handyman/improper wiring/installations and safety hazards throughout the home.
10. **PERMITS/STRUCTURAL MODIFICATIONS**: Obtain all closed permits for additions (basement, bathrooms, expansions, deck, etc.), structural modifications, installed wood burning stoves, mechanicals, septic repairs/replacements, etc. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and non-compliant building practices. Recommend a qualified builder and tradesmen (licensed electricians, plumbers, qualified building contractors, etc.) evaluate the home and advise on all systems corrections and ensure work is done with proper building and township permits.
11. **GRADING/DRAINAGE/SEEPAGE**: There was water seepage in basement; staining and efflorescence observed. Have wet basement damp proofer contractor evaluate for water management system(s) to ensure a dry basement. Have gutters replaced with roof and correct all negative grading & soil erosion on exterior. See "grounds" section comments.
12. **OIL TANK**: Recommend a property tank sweep to rule out any buried oil tanks on property.

13. **SEPTIC:** Obtain the septic inspectors report and documentation for all septic repairs/replacements and any transferrable warranty for system. The open cavity for septic testing or repairs should be fenced off for safety; fall hazard. Obtain closed permits for septic repairs/replacements, etc. as required by township.
14. **WELL H₂O:** Obtain all well and water testing reports from well water testing and well inspector.

DEFECTS EXIST IN HOME AS PER-

¹ Pursuant to NJAC 13:40-15.2 Definitions:

“Material defect” means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly. Recommend checking with local authorities for permits on additions and alterations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical and other mechanical problems or issues as they occur, with qualified contractors, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications. It is recommended to obtain township permits for history of home. Recommend a "Home Warranty." Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing.

- * Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report which may not reflect boxed area checked.

GROUNDS: Maintain all walks in level safe condition. Add stone to driveway where sparse or low spots; recommend a boarder to keep stones off grass. Deck was built low to ground; inaccessible under deck. Fill in large cavity with soil & pitch away from foundation; limited view. Deck was old; railing/balusters far apart; small child safety concern. Flooring had warped boards, cracks, rough, splintered, nail pops, soft spots, rot, etc. Steps were sinking/loose, not on footers, middle stringer missing, cracked tread supports, risers not boxed in, etc. Deck was built a long time ago and needs repairs/upgrades for safety. Have a structural carpenter evaluate deck for repairs/upgrades; safety concerns. There was a broken awning on deck; trip hazard. Have awning removed. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. There was soil erosion around home and on steep sides of house. Recommend adding soil and confer with grading & drainage contractor for erosion control measures. Add soil over tree roots; trip hazard. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Recommend removing ivy or ground cover away from house; attracts carpenter ants (wood destroying insects). Trim back or cut away trees, shrubs and branches away from house. Remove trees, dead trees, tree roots & stumps and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause

CONCERNS:

1. Have a mason evaluate/repair front steps; cracked/damaged.
2. Have a structural carpenter evaluate deck for repairs/upgrades; safety concerns.
3. There was soil erosion around home and on steep sides of house. Recommend adding soil and confer with grading & drainage contractor for erosion control measures. Fill in large cavity with soil & pitch away from foundation; water draining against foundation.
4. Trim back or cut away trees, shrubs and branches away from house. Remove trees, dead trees, tree roots & stumps and or branches too close to roof, structures and electrical cables/communication lines for safety.
5. Have a licensed plumber evaluate the gas line under deck; hanging/improper installation.



Figure 1 Have a mason evaluate/repair steps.



Figure 2 Remove all overhanging trees; carpenter ants, dirty gutters, etc.

ROOF: The roof was in poor condition; leaking, missing flashings/drip edge, multi-layer, damaged roof structure/possible mold & heat damage in attic, damage to rakes (water & wood destroying insect), damage to fascia (leaking roof & gutters), damage to soffits and damage to exterior siding/trim/window frames, etc. There was poor ventilation; pine sap oozing on roof structure, condensate drip marks on floor boards (nails freeze/ice up & drip onto floor) and mold-like staining on roof sheathing (plywood). There was leaking into interior of home; water stains/leaking and damage (garage, around chimney/attic, etc.). There was darkening on roof sheathing (plywood) or possible mold-like; multi-layer roof, poor ventilation & high humidity. Have a qualified roofer evaluate for roof tear off, replace damaged roof structure & sheathing (including mold-like areas), rakes, fascia, soffits, eaves, replace roof, flashings, gutters and add proper ventilation. Have contractor evaluate & rule out any concealed damage. Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs. Multi-layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation (ex- ridge vents, perforated soffits, passive vents, etc. as per contractor). The skylight(s) should be changed at same time as roof; discuss window options with contractor (ex. Velux, etc.). Obtain all closed roof permits with new roof & structural repairs. All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage.

CONCERNS:

1. **There was leaking into interior of home; water stains/leaking and damage (garage, around chimney/attic, skylights, etc.). Have a qualified roofer evaluate for roof tearoff/gutters/ventilation/skylights, replace damaged roof structure & sheathing (including mold-like areas), rakes, fascia, soffits, eaves, replace roof, flashings, gutters and add proper ventilation. Have contractor evaluate & rule out any concealed damage.**

CHIMNEY/GUTTERS/SIDING/TRIM: Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typically experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. There was leaking around chimney as viewed in attic; see roofing and attic section comments. Obtain all closed permits for all installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. There was evidence of carpenter ant frass/bodies & chewed drywall & joint tape- have structural carpenter evaluate and rule out or determine any hidden damage. There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all damage and make repairs. There was extensive damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork from water/carpenter bee/carpenter ant/wood pecker. A siding contractor and structural carpenter must evaluate extent of damage damage on exterior and interior of home including any concealed damage and make repairs. There were cracks on foundation and interior structural concerns (wall cracks, canted doorways/closets, temporary screw jacks under sagging/twisted joists, etc.); have structural contractor or engineer evaluate and advise on all repairs. There were mice/rodent traps set throughout home and mice droppings; have a Pest Company evaluate and treat for rodents.

CONCERNS:

1. There was exterior and interior damage from leaking roof, gutters, wood destroying insects and wood peckers. Have a structural carpenter and building contractor evaluate all damage to home including all concealed damage. Home was neglected and poorly maintained contributing and needs repairs & upgrades everywhere.
2. There were cracks on foundation and interior structural concerns (wall cracks, canted doorways/closets, temporary screw jacks under sagging/twisted joists, etc.); have structural contractor or engineer evaluate and advise on all repairs.
3. Obtain all closed permits for all installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. There was leaking around chimney as viewed in attic; see roofing and attic section comments.



Disconnected & poorly maintained gutters.



Figure 3 Leaking and efflorescence around chimney; view in attic.

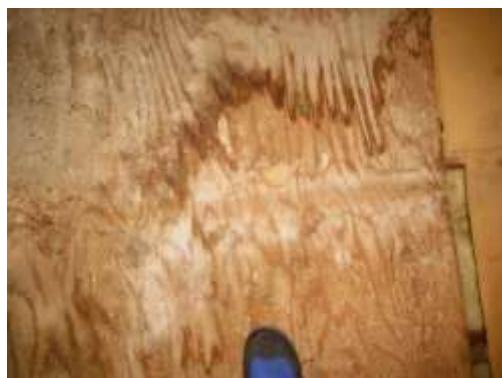
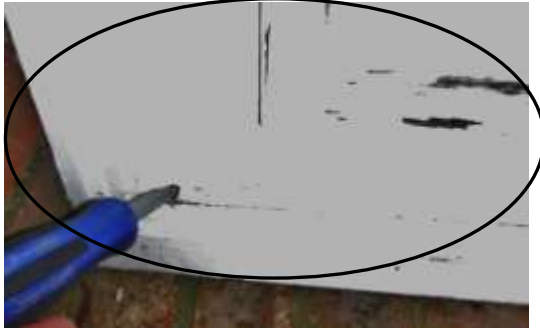


Figure 4 Water stains/leaking into attic.



Examples of exterior water, carpenter bee, carpenter ant, wood pecker damage.









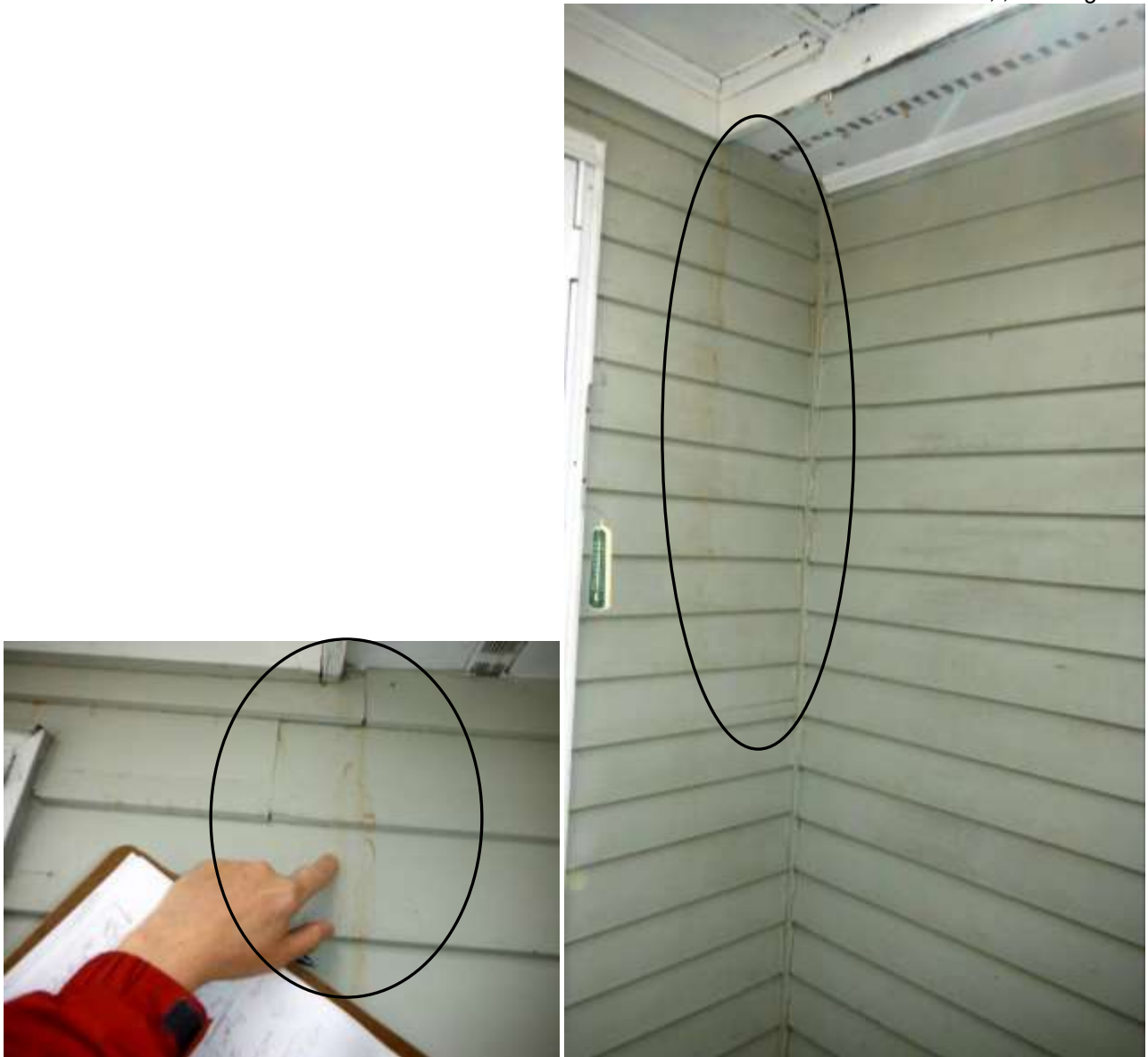


Figure 5 Leaking, water stains, poorly maintained exterior.



Figure 6 Rot on siding side wall/rook junctures.



Figure 7 Siding water damaged, warped, rot, etc. Missing flashings over windows, doors, etc.





Figure 8 Foundation cracks; have foundation contractor, engineer or building contractor evaluate all foundation cracks and make repairs.

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : There was evidence of carpenter ant frass/bodies, nests & chewed drywall & joint tape- have structural carpenter evaluate and rule out or determine any hidden damage. Have a licensed Pest Company treat for all wood destroying insects (carpenter ant, carpenter bee, etc.). See separate wood destroying insect report (NPMA-33). There was storage, clutter on floor & perimeter; check all areas when removed before closing. There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all damage (structure, mold & insect), repair holes/gaps and make repairs; firewall needs to be maintained. There was extensive water & insect damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork. A siding contractor and structural carpenter must evaluate extent of damage on exterior and interior of home including any concealed damage and make repairs. There were structural modifications made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.). There was a partition to right of main garage off laundry room; old garage door still present. There were large cracks on exterior foundation; have structural professional evaluate(engineer, building contractor/foundation contractor, etc.). The basement had finished ceilings and walls; structure inaccessible. All cracks on foundation and interior structural concerns (humps in floor, cracks/canted doors, sagging/twisted/separated joists, sloped flooring, etc.) should be evaluated and all structural repairs made by qualified contractors. The A/C system needs to be replaced along with the furnace; past expected life/poor condition. Recommend replacing door to home with an insulated fire door for safety and

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energy reasons. Recommend replacing the overhead garage doors and add newer openers with safety features (auto pressure reversers & electric eyes). Recommend adding GFCI outlets in garage and exterior for safety. Have electrician also add dedicated garage door opener outlets. Have the auto pressure reverse corrected or repaired; not reversing when door with opener checked. Have outlets with no power checked by electrician. Remove extension cords for fire safety. Recommend replacing all rusted exterior light fixtures; possible water entry/shock hazard. There was a gas line hanging under deck; have plumber evaluate. Deck was built low; inaccessible under deck. Have electrician seal/putty the service drop penetrations; gaps and water entry. All foundation or house penetrations need to be caulked or sealed to keep out water. The radon mitigation was running at time of inspection. Recommend a licensed electrician evaluate all outlets and fixtures on exterior; need GFCI protection and replace rusted fixtures.

CONCERNS:

1. There were structural modification made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.) . There were large cracks on exterior foundation, cracks in interior, canted doorways/closets, sloping floors, humps on flooring, temporary screw jack in basement, etc. Have structural professional evaluate(engineer, building contractor/foundation contractor, etc.) evaluate the home's structure including modifications and water & wood destroying insect damage and advise on all structural repairs.
2. There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all water damage (structure, mold & insect) and make repairs. There was extensive water & insect damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork. There was chewed drywall paper and carpenter ant frass & nests in sills and on floor; have carpenter evaluate behind drywall & damaged finished surfaces. A siding contractor and structural carpenter must evaluate extent of damage on exterior and interior of home including any concealed damage and make repairs.
3. The A/C system needs to be replaced along with the furnace; past expected life/poor condition.
4. There was chewed drywall paper and carpenter ant frass & nests in sills and on floor; have carpenter evaluate behind drywall & damaged finished surfaces. Have a licensed Pest Company treat for all wood destroying insects (carpenter ant, carpenter bee, etc.). See separate wood destroying insect report (NPMA-33).
5. Recommend replacing door to home with an insulated fire door for safety and energy reasons. Recommend upgrading garage doors and tighten the garage door chain; loose/unsafe. Have the auto pressure reverse corrected or repaired; not reversing when door with opener checked.
6. Have all walls & ceilings repaired to maintain firewall protection. Recommend upgrading door to a fire rated insulated door for fire safety.
7. Recommend an electrician add dedicated outlets for garage door(s), remove all extension cords and add GFCI outlets in garage & exterior for fire safety. Recommend replacing all rusted exterior light fixtures; possible water entry/shock hazard.



Figure 9 Carpenter ant frass/nest, damage, and chewed paper; have a licensed Pest Company treat for all wood destroying insects.



Figure 10 Example of roof leaking & water damage in garage. Have a structural carpenter evaluate extent of all damage including water, mold like staining & insect before closing. The home was poorly maintained and needs upgrades and repairs everywhere.

KITCHEN EAT-IN : Add GFCI outlets for safety. See electrical section comments. There were lines on drywall in ceiling; see window/hallway section comments. There was peeled paint; possible from cooking or stove area. There was sloping on flooring; structure inaccessible. See basement section comments; structural concerns.

LAUNDRY : Clean dryer vent yearly and change flexible metal dryer hose for fire safety. Recommend metal braided washer hoses for added measure to prevent leaks. This room was cooler; have HVAC contractor evaluate heat to err on side of caution.*

MASTER BATH (Old): There was calcium deposits on plumbing under sink; hard water. There was a water softener system in basement; see plumbing section comments. There was corrosion on piping/plumbing/valves in bathroom; upgrade plumbing. The outlet tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets. Have a licensed electrician evaluate the wiring/circuits and make repairs. Clean the exhaust fan periodically to maintain lint free. Caulk in tub/shower area and adjacent walls & flooring to maintain water tight seals. There is a skylight in this room; recommend replacing with new roof. See roof section comments. Have stopper handle connected; loose or detached. Recommend adding an access panel for this bathroom in adjacent room in case of plumbing repairs. Access panels should be added for all bathrooms. There was peeled paint above the heating source; have contractor evaluate/repair.

CONCERNS:

1. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets.
2. There is a skylight in this room; recommend replacing with new roof.
3. Have plumber and bathroom contractor evaluate sink & plumbing for replacements; upgrade bathroom.
4. There was peeled paint above the heating source; have contractor evaluate/repair.

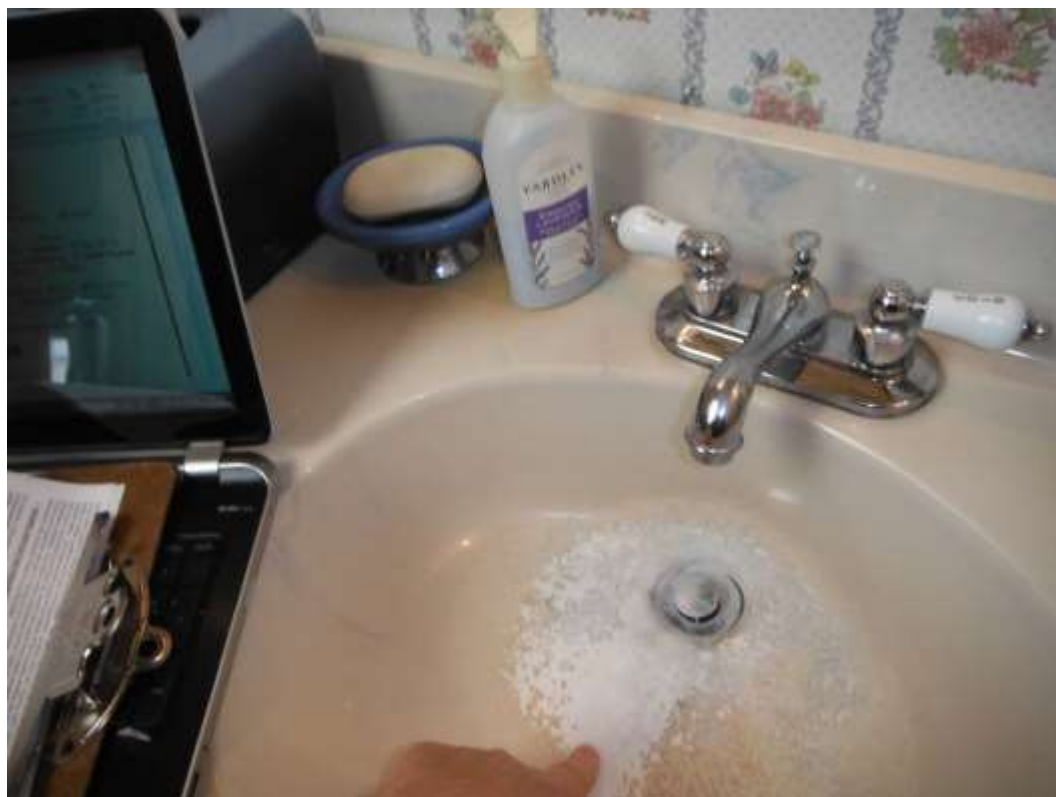
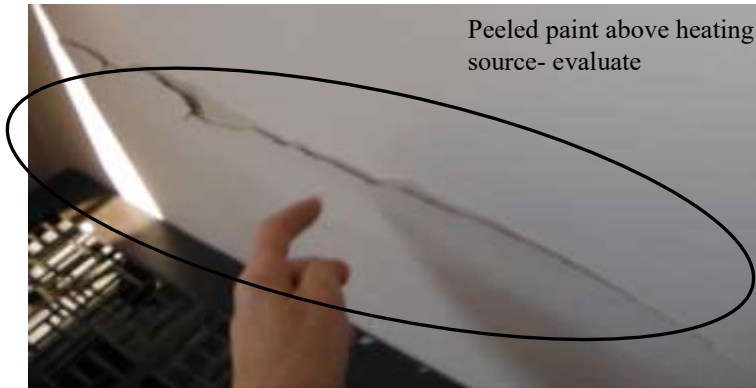


Figure 11 Cracked & damaged sink basin; hygiene/health and leak concerns.

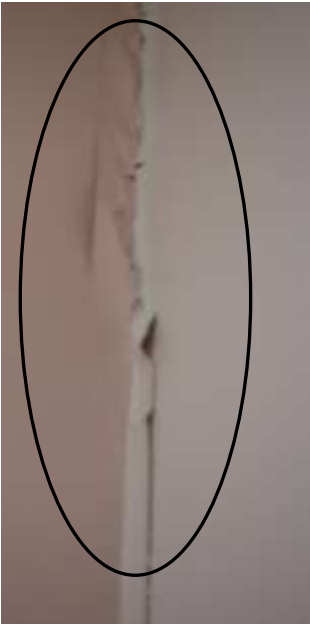
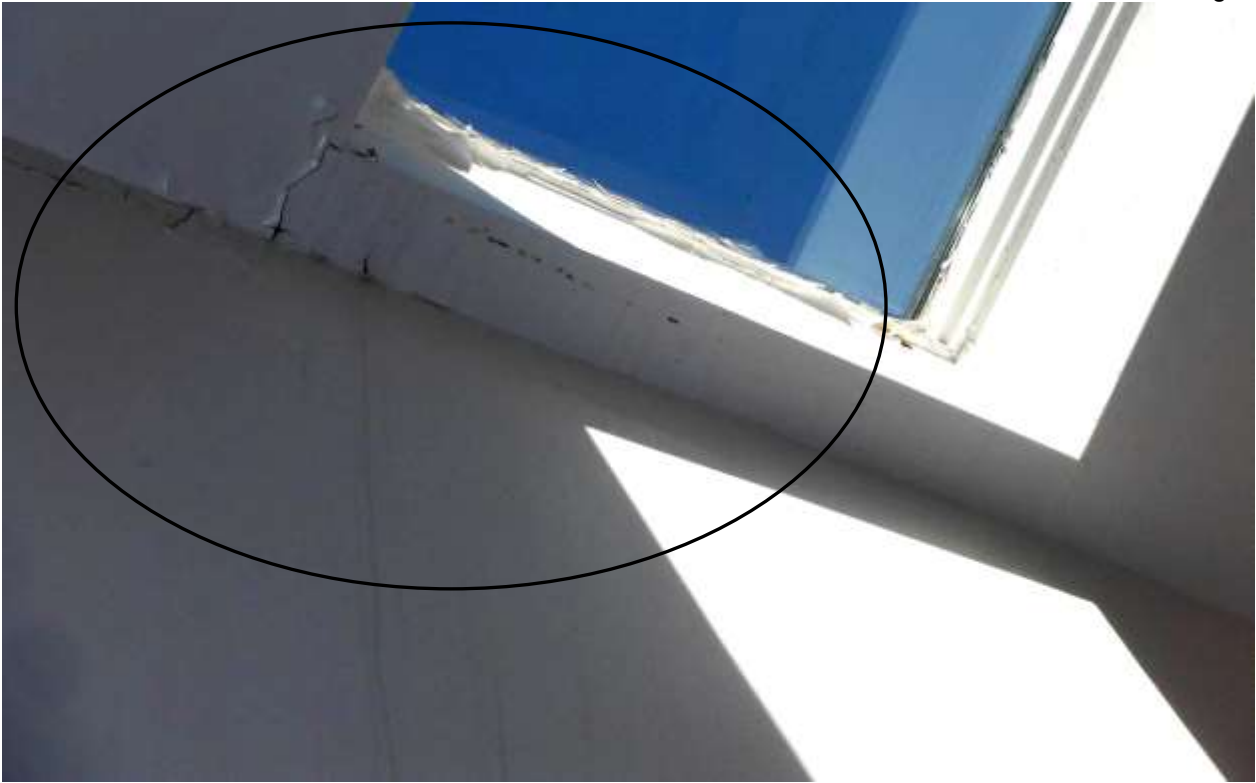


MAIN BATH : The fan was not working; humming motor/safety concern. Have an electrician evaluate the exhaust fan and repair/replace. There was leaking around the skylight ; have replaced. Recommend cooler light bulbs; exposed vanity lighting with incandescent bulbs can get hot or cause burns if touched. There was erratic spraying on sink faucet; grit and calcium deposits in the aerator.

CONCERNS:

1. There was leaking skylight; have skylights replaced with roof. See roofing section comments.
2. Have an electrician evaluate the exhaust fan and repair/replace for safety; humming motor.





BATH BASEMENT (unconventional)** : The old sink appears to be from a kitchen, a toilet was added and a low quality shower stall. This bathroom was added by handyman or non-professional skill; poor condition. Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits; unconventional, improper installations and lacking proper building practices.** There was opened ceiling and plumbing repairs; gives indication of frozen pipes and plumbing repairs. There was no heat source in bathroom; need heat in bathrooms. There was heavy corrosion and leaking on plumbing in this bathroom. The bathroom needs to have proper exhaust fan(not working & no cover), GFCI outlets, heating source, and approved by all local building practices and required permitting. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection.

CONCERNS:

1. Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in bathroom; need heat in bathrooms. The bathroom needs to have properly working exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting.



Figure 12 Leaking, corrosion, old plumbing; have licensed plumber evaluate for plumbing upgrades throughout the home.



Figure 13 Opened ceiling and plumbing repairs; indication of frozen pipes/leak repairs. Have a bathroom contractor evaluate bathroom and upgrade with required permits.



Figure 14 Recommend a bathroom contractor evaluate the bathroom and advise on all upgrades. Low quality/poor shower stall; rusted, stained, etc.

LIVING ROOM : There is a wood fireplace in this room; have chimney contractor evaluate/inspect. See chimney section comments; damage. There were humps in flooring by the front right wall. The basement was finished and structure inaccessible. There were water or moisture stains on ceiling below this area. Recommend a structural carpenter further evaluate structure and advise on all structural repairs.

CONCERNS:

1. Recommend a structural carpenter further evaluate structure and advise on all structural repairs.



Figure 15 Have humps/warped boards/structure evaluated by contractor or engineer.

SITTING ROOM OFF KITCHEN : There was an abandoned drain pipe with a rag inside and capped copper water lines; have plumber terminate below and /or cap off drain. The lights or electrical went off when the master bathroom outlets were tripped or tested. Have a licensed electrician evaluate and separate lighting or electrical in this room off the bathroom circuit.

CONCERNS:

1. Have plumber cap off or remove all plumbing in this room.
2. Have a licensed electrician evaluate and separate lighting or electrical in this room off the bathroom circuit.



Figure 16 Drain with rag inside; have plumber cap off or remove all plumbing from below.

MASTER BEDROOM FRONT : There were cracks around left closet door, framing canted (not plumb) and closet door not closing.* The crack goes through into closet; structural concerns. The basement below was finished with drywall; structure inaccessible. Have a structural carpenter further evaluate and advise on all structural repairs. There was a wood burning stove in room; no visible fire stop in attic; fire safety concern. See chimney & fireplace section comments.

CONCERNS:

1. Have a structural contractor (builder, engineer, structural carpenter, etc.) evaluate the structure; canted doorway, door not closing/not plumb, crack through into closet, etc. **





#2 BEDROOM REAR LEFT : There was inadequate heat in this room; two registers on right wall. There was an old gas space heater installed over one of the floor registers; unconventional/handyman installation. Gas space heater in this room and basement were not tested; recommend removal by contractor. Have an HVAC (heating & cooling)contractor evaluate for proper heating & cooling. This room appears added after time of build; obtain all closed permits for all structural additions & modifications.

CONCERNS:

1. **Inadequate heating & cooling in room.* Old gas space heater should be removed; safety concerns. Have a qualified HVAC contractor evaluate for proper heating & cooling.**
2. **This room appears added after time of build; obtain all closed permits for all structural additions & modifications.**

WINDOWS/FIREPLACES/HALL/ATTIC: Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. Obtain all closed permits for installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. Recommend baffles at eaves and perforated soffits, ridge vents, etc.; attic had poor ventilation. See roofing section comments. There was poor ventilation; pine sap oozing on roof structure, condensate drip marks on floor boards (nails freeze/ice up & drip onto floor) and mold-like staining on roof sheathing (plywood). There was leaking into interior of home; water stains and damage (garage, around chimney/attic, etc.). There was darkening on roof sheathing (plywood) or possible mold-like; multi-layer roof, poor ventilation & high humidity. There were water stains around chimney/rafters/sheathing/floor boards; have roofer evaluate for new roof, gutters, ventilation. There was drywall ceiling sagging and visible joint seams throughout the home; have a contractor evaluate and advise on repairs. There were sloped flooring, canted doorways/closets, etc.; structural concerns. See basement section – structural comments. Have a railing installed around stairwell for safety. Recommend an electrician evaluate the fan in attic; extension cord/plug in and no grille; safety hazard.

CONCERNS:

1. **There was poor ventilation in attic; mold-like dark staining on roof sheathing (plywood) and pine sap oozing out of wood on roof structure. Have a ventilation contractor or qualified roofer evaluate for more ventilation. Recommend baffles at eaves and perforated soffits, ridge vents, etc.; attic had poor ventilation. There was leaking around chimney and into home (skylights, garage, etc.)**
2. **There was drywall ceiling sagging and visible joint seams throughout the home; have a contractor evaluate and advise on repairs. There were sloped flooring, canted doorways/closets, etc.; structural concerns. See basement section – structural comments.**
3. **Obtain all closed permits for installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety.**
4. **Have a railing installed around stairwell for safety. Recommend an electrician evaluate the fan in attic; extension cord/plug in and no grille; safety hazard.**



Figure 17 Attic fan had not grille and not wired with power switch; safety hazards.

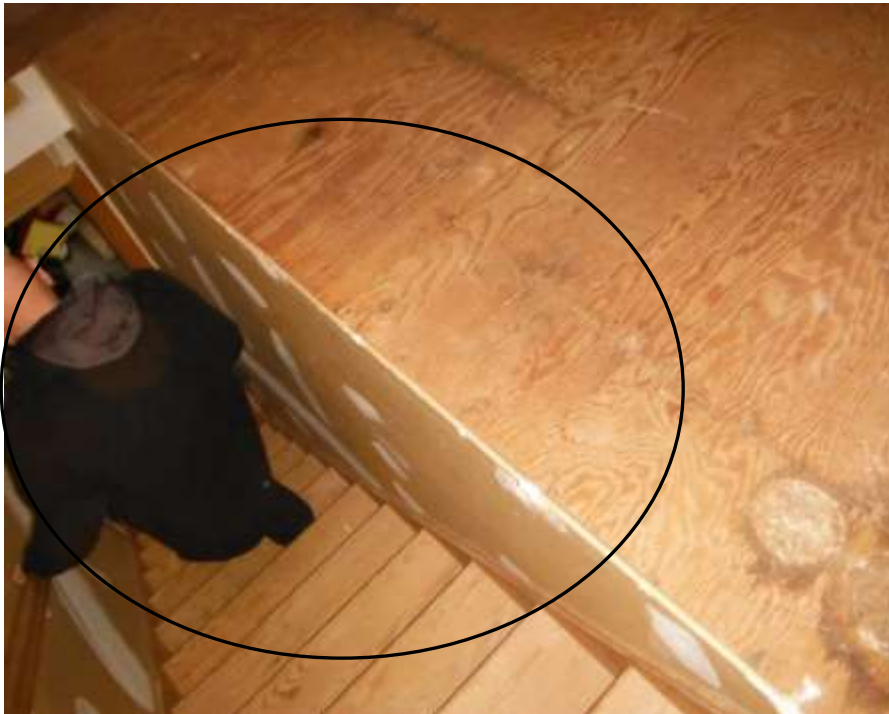


Figure 18 Need a railing for safety.



Figure 19 Example of mold like staining in attic; have affected plywood evaluated for replacement.



Figure 20 Example of mold like staining in attic; have affected plywood evaluated for replacement.

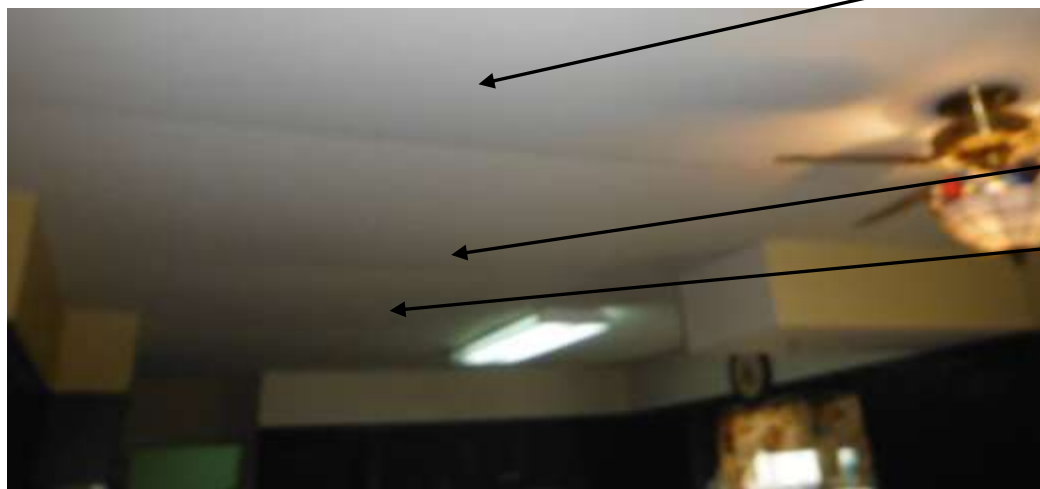


Figure 21 Example of drywall sagging & visible joint lines throughout house; have contractor evaluate and advise on repairs.

FINISHED BASEMENT : There were humped or warped floor boards in living room. There was a temporary screw jack under flooring in rear section of home where ceiling opened, warped joist, solid blocking added & separated. There were cracks around left closet door, framing canted (not plumb) and closet door not closing. The crack goes through into closet; structural concerns. The basement below was mostly finished with drywall; structure inaccessible. There were cracks on foundation observed on exterior. The basement was finished and there were additions or structural modifications to home including a bathroom in basement (handyman). The rear left basement had unfinished trim around basement windows. Have structural professional evaluate (engineer, building contractor/foundation contractor, structural carpenter, etc.) evaluate the home's structure including modifications and water & wood destroying insect damage and advise on all structural repairs. There were open ceiling sections by basement bathroom and near the temporary screw jack; wire nuts between floor joists. Wiring needs to be corrected by a licensed electrician. There were improper electrical wiring & installations that need to be in junction boxes and accessible/not behind drywall. See electrical section comments. Recommend obtaining all required township permits "closed/final" for all structural modifications, additions/bathrooms, finished basement, etc. before closing. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and ntiaonla building practices. Recommend a qualified builder and tradesmen (electricians, plumbers, etc.) evaluate the home and advise on all corrections and ensure work is done with proper building and township permits. There was efflorescence, water stains and signs of water seepage in basement. Recommend a water management system for preventative measures to ensure a dry basement. Gutters were not functioning properly and in poor condition. Recommend replacing gutters with new roof and extend away from home (8+ft.) for water drainage. There was negative grading on exterior and a pit or cavity under deck; water draining to foundation and basement. Exterior conditions are contributing to water seepage in basement. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Have wet basement damp proofer contractor evaluate for water management system(s) to ensure a dry basement. There was a wood burning stove in basement; obtain all closed permits for this appliance, the one in master bedroom, etc. See chimney & fireplace section comments. Wood stoves are not tested or lighted up; beyond scope of a home inspection.

CONCERNS:

1. **There were structural modifications made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.) . There were large cracks on exterior foundation, cracks in interior, canted doorways/closets, sloping floors, humps on flooring, temporary screw jack in basement, etc. Have structural professional evaluate(engineer, building contractor/foundation contractor, etc.) evaluate the home's structure including modifications, foundation cracks, water & wood destroying insect damage and advise on all structural repairs.**
2. **There was a wood burning stove in basement; obtain all closed/final permits for this appliance. Wood stoves are not tested or lighted up; beyond scope of a home inspection.**
3. **There was water seepage in basement; staining and efflorescence observed. Have wet basement damp proofer contractor evaluate for water management system(s) to ensure a dry basement. Have gutters replaced with roof and correct all negative grading & soil erosion on exterior. See "grounds" section comments.**







PLUMBING: There was calcium deposits on plumbing and fixtures in home; indication of hard water. There was a water softener system connected in home; have the company or installer evaluate system and equipment (not part of home inspection). Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time and if there is hard water in home. Hard water can cause fixtures to clog resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. The well equipment had a contact on storage tank; follow-up with the well company for inspection and service of all well equipment (not part of home inspection). Have water tested before closing; follow-up with seller. Recommend insulating all well piping and plumbing to avoid sweating pipes or condensate. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumbing in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. Leaking or corroded plumbing in ceilings were open; indication of frozen piping and plumbing leaks. There were repaired pipes in basement bathroom; indication of frozen pipes. There was no heat in basement bathroom and inadequate heating in finished basement. Rooms with plumbing should be properly heated to avoid frozen pipes, leaking or flooding. There was corrosion on plumbing in home (piping, valves, fittings, etc.). Bathrooms were old and the basement bathroom was installed improperly; appears illegal. Have a licensed plumber evaluate the home for plumbing upgrades everywhere. Obtain documentation and closed permits for all bathroom(s) added after time of build; handyman or non-professional workmanship. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. Obtain closed permits for installed hot water heater. Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in basement bathroom; need heat in bathrooms. The bathroom needs to have proper exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting. There was older plumbing in home (piping, valves, fittings, fixtures) and bathrooms and kitchen. Have a building contractor and licensed plumber evaluate home for plumbing and kitchen & bathroom upgrades. The basement bathroom was unconventional and lacking proper building practice; appears illegal.** Obtain the septic inspectors report and documentation for all septic repairs/replacements and any transferrable warranty for system. The open cavity for septic testing or repairs should be fenced off for safety.

CONCERNS:

1. **Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in basement bathroom; need heat in bathrooms. The bathroom needs to have proper exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting. There was older plumbing in home (piping, valves, fittings, fixtures) and bathrooms and kitchen. Have a building contractor and licensed plumber evaluate home for plumbing and kitchen & bathroom upgrades. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection.**
2. **Obtain the septic inspectors report and documentation for all septic repairs/replacements and any transferrable warranty for system. The open cavity for septic testing or repairs should be fenced off for safety.**



Figure 22 Open cavity for septic work or testing; fall hazard. Recommend fencing around open pit.

HEATING: Recommend a property tank scan to rule out any buried oil tanks on property. There were gas space heaters in basement and in bedroom #2; have an HVAC contractor evaluate and replace with proper heating sources for rooms. Obtain all closed permits for additions/finished rooms including HVAC replaced closed permits. Bedroom #2 had an old gas space heater installed over a heating register; unconventional/safety concern. Recommend the contractor remove the old gas space heaters; safety concerns. The furnace was original to home or approximately 41 yrs. Old. Unit was in poor condition; flame distortion, flame rollout (safety hazard), rust, corrosion, poorly maintained.** Have an HVAC contractor evaluate the furnace and cooling systems for replacements. Have the contractor evaluate bedroom #2, basement bathroom and finished basement for heating & cooling sources; inadequate heating. Have laundry room check for heat; too cool in room. Recommend removing the old “humidifier” on furnace; not in use and old (found unplugged). There are typically 30, 60, 90 day filters, washable filters, etc.; personal choice. Recommend having ducts cleaned professionally yearly or as recommended by duct cleaning contractor for good indoor air quality.

CONCERNS:

1. **The furnace was original to home or approximately 41 yrs. Old. Unit was in poor condition; flame distortion, flame rollout (safety hazard/dangerous), rust, corrosion, poorly maintained.** Have an HVAC contractor evaluate the furnace and cooling systems for replacements. Have the contractor evaluate bedroom #2, basement bathroom and finished basement for heating & cooling sources; inadequate heating. Recommend removing the old “humidifier” on furnace; not in use and old (found unplugged).**
2. **Recommend a property tank sweep to rule out any buried oil tanks on property before closing.**

COOLING : The A/C system needs to be replaced along with the furnace; past expected life/poor condition. See heating section comments.

CONCERNS:

1. The A/C system needs to be replaced along with the furnace; past expected life/poor condition.



Figure 23 A/C past life & poor condition; damaged/flaking/oxidized fins, rust and corrosion, damaged insulation, etc.; have HVAC contractor evaluate the HVAC (heating & cooling) systems for replacements.

ELECTRICAL: There is an older push-o-matic panel in garage.** Breakers or parts can be costly if found or often hard to find replacements or breakers when adding them. There was sloppy wiring inside panelboard; loose, not bundles, wires crossing over terminals, wire nut pigtails, etc. Have electrician separate & isolate the neutrals and grounds in the sub panel for safety. Recommend upgrading panel. Recommend a dedicated outlet(s) for garage door opener; extension cords are fire hazards. There was handyman electrical box in rear left basement by the lower bathroom; fire/shock hazard. There was handyman wiring in home and extension cords, multipliers or overloaded outlets; safety hazard. There were holes in basement ceilings where wire nuts exposed and not properly installed in junction boxes throughout the basement or house; **unsafe/improper**. Finished basement had handyman installations; safety hazards. Recommend obtaining all closed permits for finished basement and structural modifications. Permits should include electrical, construction, etc. and all work done to home evaluated by a qualified contractor and corrections made with permits. Leaking or corroded plumbing in ceilings were open; indication of frozen piping and plumbing leaks. Recommend a licensed electrician evaluate panel and advise on repairs throughout the home. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room.* The circuit tripped in the main panel CB#14 for bathroom GFCI outlets.* Have a licensed electrician evaluate the wiring/circuits and make repairs. Home needs electrical upgrades throughout home, garage and exterior. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such as sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits. There were a few unknown toggle type switches in home that do not appear to operate anything; have electrician evaluate these switches. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and unconventional building practices. Recommend a qualified builder and tradesmen (electricians, plumbers, etc.) evaluate the home and advise on all corrections and ensure work is done with proper building and township permits.

CONCERNS:

1. Have electrician separate & isolate the neutrals and grounds in the sub panel for safety. There are no spares in the main panel for future use. Recommend upgrading main panel; push-o-matics are a very old panel and difficult/expensive to obtain parts or breakers. Have electrician clean-up/correct all handyman/improper wiring/installations and safety hazards in home. Recommend adding GFCI outlets on exterior and where damp or wet for safety. Recommend a licensed electrician evaluate panel and advise on repairs throughout the home.
2. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets.
3. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and unconventional building practices. Recommend a qualified builder and tradesmen (electricians, plumbers, etc.) evaluate the home and advise on all corrections and ensure work is done with proper building and township permits.



Figure 24 Have these switches evaluated; unknown what they control.

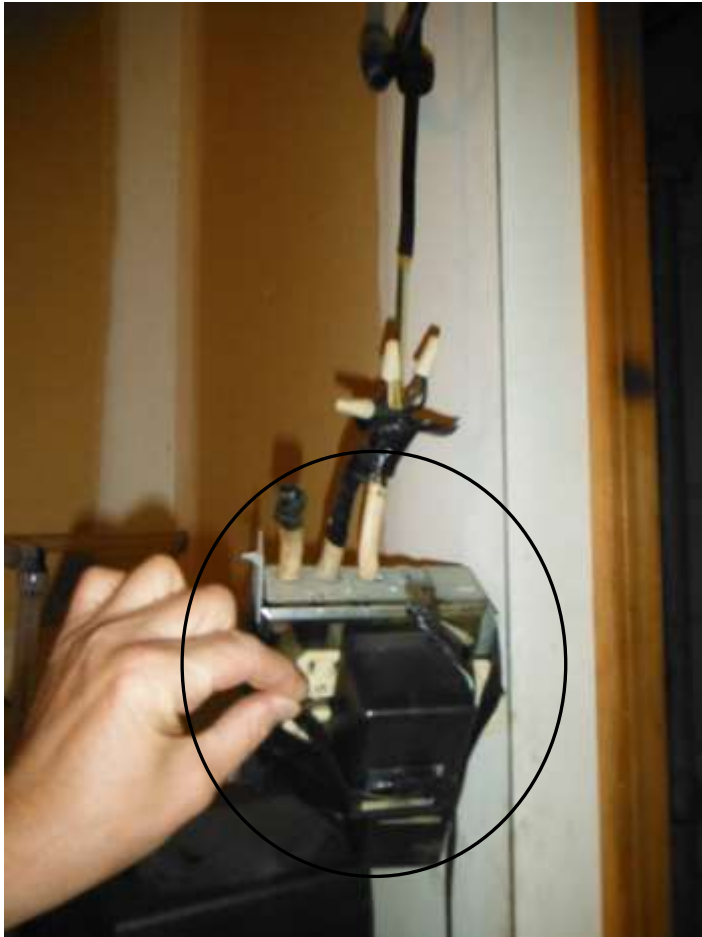


Figure 9 Example of handyman/improper /hazardous wiring or installations in home. Have a licensed electrician evaluate electrical and make corrections/repairs for safety.

END OF SUMMARY.

REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems serviced regularly and maintained.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt attention now

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repair, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. **If you are not satisfied with a visual inspection, it is recommended to engage in those services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection.** This is under the law in the **New Jersey Standards of Practice 13:40-15.16** for a licensed home inspector in the state of New Jersey.

.We Always Miss Some Minor Things

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty.

GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*
Material: Concrete Stone/slate Brick Other
Condition: Satisfactory Marginal Poor *Trip Hazard*
 Pitched towards home *Settling cracks* Not visible Typical cracks

DRIVEWAY/PARKING None
Material: Concrete Asphalt Gravel/Dirt Brick Other
Condition: Satisfactory Marginal Poor Fill stone where sparse
 Pitched towards home *Trip hazard* *Settling Cracks* Typical crack

PORCH (COVERED ENTRANCE) None
STOOPS/STEPS None *Uneven risers*
Material: Concrete/Brick Wood Other *Railing/Balusters recommended*
Condition: Satisfactory Marginal Poor *Cracked* *Settled*
 Rotted/Damaged *Safety Hazard*

PATIO None

DECK/BALCONY (*flat, floored, roofless area*) *Have deck evaluated/repairs/upgraded*
Material: Wood *Railing/Balusters >4" too far apart- small child safety concern*
Finish: Painted/Stained *warped, rot, cracks*
 fill in large cavity with soil & pitch away from foundation
 No footers under steps, steps sinking, no middle stringer, cracked supports under treads, etc.
 Railing loose *Risers not boxed in- trip hazard* Safety concerns
Condition: Satisfactory Marginal Poor *Wood in contact with soil*

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*
FENCE/WALL Not evaluated in a home inspection None

LANDSCAPING AFFECTING FOUNDATION (*See remarks page*)

Negative Grade: East West North South
 Recommend replacing/upsizing gutters (6" larger) & check underground drains
 Recommend additional backfill *Recommend window wells/covers*
 Trim back trees/shrubberies/remove trees close to house or structures
 Wood (deck steps) in contact with/improper clearance to soil Tree roots; trip hazard
 NOTE: *Sink holes and other Geological issues are NOT part of a general home inspection*

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None **Material:** *Drainage holes recommended*
(Relates to the visual condition of the wall)

HOSE BIBS one No anti-siphon valve- other
Operates: Yes No Not tested Not on

GENERAL COMMENTS

GROUNDS: Maintain all walks in level safe condition. Add stone to driveway where sparse or low spots; recommend a boarder to keep stones off grass. Deck was built low to ground; inaccessible under deck. Fill in large cavity with soil & pitch away from foundation; limited view. Deck was old; railing/balusters far apart; small child safety concern. Flooring had warped boards, cracks, rough, splintered, nail pops, soft spots, rot, etc. Steps were sinking/loose, not on footers, middle stringer missing, cracked tread supports, risers not boxed in, etc. Deck was built a long time ago and needs repairs/upgrades for safety. Have a structural carpenter evaluate deck for repairs/upgrades; safety concerns. There was a broken awning on deck; trip hazard. Have awning removed. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. There was soil erosion around home and on steep sides of house. Recommend adding soil and confer with

grading & drainage contractor for erosion control measures. Add soil over tree roots; trip hazard. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Recommend removing ivy or ground cover away from house; attracts carpenter ants (wood destroying insects). Trim back or cut away trees, shrubs and branches away from house. Remove trees, dead trees, tree roots & stumps and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. Recommend window well covers for all basement windows to keep out water, ice snow and avoid wet basement. Have a licensed plumber evaluate the gas line under deck; hanging/improper installation.

CONCERNS:

1. Have a mason evaluate/repair front steps; cracked/damaged.
2. Have a structural carpenter evaluate deck for repairs/upgrades; safety concerns.
3. There was soil erosion around home and on steep sides of house. Recommend adding soil and confer with grading & drainage contractor for erosion control measures. Fill in large cavity with soil & pitch away from foundation; water draining against foundation.
4. Trim back or cut away trees, shrubs and branches away from house. Remove trees, dead trees, tree roots & stumps and or branches too close to roof, structures and electrical cables/communication lines for safety.
5. Have a licensed plumber evaluate the gas line under deck; hanging/improper installation.



Figure 25 Have a mason evaluate/repair steps.



Figure 26 Remove all overhanging trees; carpenter ants, dirty gutters, etc.

ROOF

ROOF VISIBILITY All Partial None Limited by: Angle

INSPECTED FROM Roof Ladder at eaves Ground (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Type: Asphalt Estimated Layers*: 2 (multi-layers) Approximate age of cover: 26+ years/past life

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM Type: Soffit Ridge Gable Roof
Appears Adequate: No Turbine Powered Other More ventilation recommended
 (See Interior remarks page) (See Attic section)

Need more Ventilation to avoid ongoing mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage

FLASHING Material: Not visible Missing flashings/drip edge flashings, etc.
VALLEYS Not visible N/A Material: Galv/Alum Asphalt Lead Copper
CONDITION OF ROOF COVERINGS Roof #1: Poor past life, leaking

Condition: Curling Cracking Broken/Loose Tiles/Shingles Leaking
 Nail popping Granules missing sun damaged, brittle, past life Stained/mold-like sheathing (attic)
 Moss buildup Exposed felt Cupping Multi-layer roof- not recommended
 Need more Ventilation to avoid mold, condensation, heat build-up, sheathing damage Poor ventilation

READ THIS NOTE: All roofs if not in perfect **LEAK –FREE condition**, water can and will leak into a home, causing damage, and mold. Anything checked off above in conditions section must be addressed or corrected and evaluated by a qualified roof prior to closing. Plan for yearly repairs and roof replacement. Obtain the roof warranty from sellers. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A Cracked/Broken Not visible Cloudy or overcast; limited visibility
Condition: Leaking Marginal/poor old Replace with new roof- very old

PLUMBING VENTS Yes No Satisfactory Marginal Poor
 Recommend roofer evaluate and advise on costs of roof tear off, ventilation, gutters, skylights & structure damage repairs before closing Not Visible

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOF: The roof was in poor condition; leaking, missing flashings/drip edge, multi-layer, damaged roof structure/possible mold & heat damage in attic, damage to rakes (water & wood destroying insect), damage to fascia (leaking roof & gutters), damage to soffits and damage to exterior siding/trim/window frames, etc. There was poor ventilation; pine sap oozing on roof structure, condensate drip marks on floor boards (nails freeze/ice up & drip onto floor) and mold-like staining on roof sheathing (plywood). There was leaking into interior of home; water stains/leaking and damage (garage, around chimney/attic, etc.). There was darkening on roof sheathing (plywood) or possible mold-like; multi-layer roof, poor ventilation & high humidity. Have a qualified roofer evaluate for roof tear off, replace damaged roof structure & sheathing (including mold-like areas), rakes, fascia, soffits, eaves, replace roof, flashings, gutters and add proper ventilation. Have contractor evaluate & rule out any concealed damage. Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs. Multi-layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation (ex- ridge vents, perforated soffits, passive vents, etc. as per contractor). The skylight(s) should be changed at same time as roof; discuss window options with contractor (ex. Velux, etc.). Obtain all closed roof permits with new roof & structural repairs. All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage.

CONCERNS:

1. **There was leaking into interior of home; water stains/leaking and damage (garage, around chimney/attic, skylights, etc.). Have a qualified roofer evaluate for roof tearoff/gutters/ventilation/skylights, replace damaged roof structure & sheathing (including mold-like areas), rakes, fascia, soffits, eaves, replace roof, flashings, gutters and add proper ventilation. Have contractor evaluate & rule out any concealed damage.**

CHIMNEY/GUTTERS/SIDING/TRIM

- CHIMNEY(S)** None Location(s): rear
- Viewed From:** Roof Ladder at eaves Ground with binoculars
- Note:** Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.
- Rain Cap/Spark Arrestor:** Yes *Recommended on large rain cap over entire chase*
- Chase:** Brick Metal Blocks Framed
- Evidence of:** Cracks Loose mortar joints/brick Flaking Moss/water penetration Staining
 Rust Leaking & efflorescence around chimney as viewed in attic
- Flue/Liner:** Tile Metal *Unlined* Not visible
- Evidence of:** Scaling Cracks Creosote *Not evaluated (See remarks page)*
 Have flue(s) inspected by chimney contractor before closing *Recommend Cricket/Saddle/Flashing*
- Condition:** Satisfactory Marginal Poor

GUTTERS/SCUPPERS/EAVES TROUGH

Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently.

Needs to be cleaned yearly or more often *Downspouts missing*

- Material:** Copper Vinyl/Plastic Galvanized/Aluminum Other
- Condition:** *Poor* *Disconnected, hanging, leaking*
- Leaking:** Corners Joints *Main run* *Leaves, clogged*
- Attachment:** Loose *Missing spikes* *Improperly sloped (See remarks page)*
- Extension needed:** Check all underground drains- should be crack free and freely flowing

SIDING

(*See remarks page EIFS)

- Material:** Wood Clap board Brick *Water/insect damage/Wood Pecker holes*
 Cracks *Wood rot* Peeling paint *Loose/Missing/Holes*

Note- Concealed behind Siding : Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.

Condition: Exterior poorly maintained- water, wood destroying insect damage, wood pecker damage

TRIM, SOFFIT, FASCIA, FLASHING

- Material:** Wood *Damaged wood/ carpenter bee, wood pecker holes & water*
 Recommend repair Evaluate extent of damage Missing flashings over doors, windows, etc.- rot on exterior

Note: Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.

Condition: Exterior poorly maintained- water, wood destroying insect damage, wood pecker damage Poor

CAULKING

- Condition:** *Missing flashings on exterior (windows/doors)* *Poor*
 Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed

WINDOWS & SCREENS

Failed/fogged insulated glass

- Material:** Wood Metal Vinyl Aluminum/Vinyl Clad
- Screens:** Torn Bent Not installed Glazing/caulk needed
- Condition:** Satisfactory Marginal Poor *Wood rot* *Recommend repair/painting*

WOOD STORMS

N/A Not installed Wood Clad comb. Wood/metal comb.

WINDOWS

SLAB-ON-GRADE/FOUNDATION N/A (See Basement/Crawl Space)

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM: Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. There was leaking around chimney as viewed in attic; see roofing and attic section comments. Obtain all closed permits for all installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. There was evidence of carpenter ant frass/bodies & chewed drywall & joint tape- have structural carpenter evaluate and rule out or determine any hidden damage. There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all damage and make repairs. There was extensive damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork from water/carpenter bee/carpenter ant/wood pecker. A siding contractor and structural carpenter must evaluate extent of damage damage on exterior and interior of home including any concealed damage and make repairs. There were cracks on foundation and interior structural concerns (wall cracks, canted doorways/closets, temporary screw jacks under sagging/twisted joists, etc.); have structural contractor or engineer evaluate and advise on all repairs. There were mice/rodent traps set throughout home and mice droppings; have a Pest Company evaluate and treat for rodents.

CONCERNS:

1. **There was exterior and interior damage from leaking roof, gutters, wood destroying insects and wood peckers. Have a structural carpenter and building contractor evaluate all damage to home including all concealed damage. Home was neglected and poorly maintained contributing and needs repairs & upgrades everywhere.**
2. **There were cracks on foundation and interior structural concerns (wall cracks, canted doorways/closets, temporary screw jacks under sagging/twisted joists, etc.); have structural contractor or engineer evaluate and advise on all repairs.**
3. **Obtain all closed permits for all installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. There was leaking around chimney as viewed in attic; see roofing and attic section comments.**



Disconnected & poorly maintained gutters.



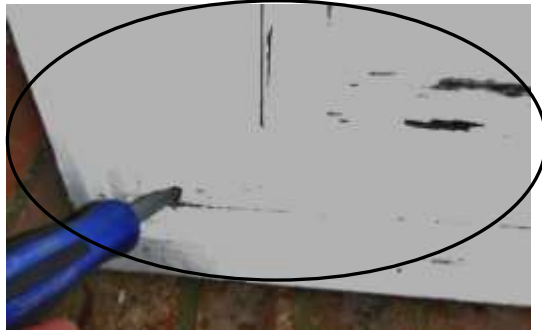
Figure 27 Leaking and efflorescence around chimney; view in attic.



Figure 28 Water stains/leaking into attic.



Examples of exterior water, carpenter bee, carpenter ant, wood pecker damage.









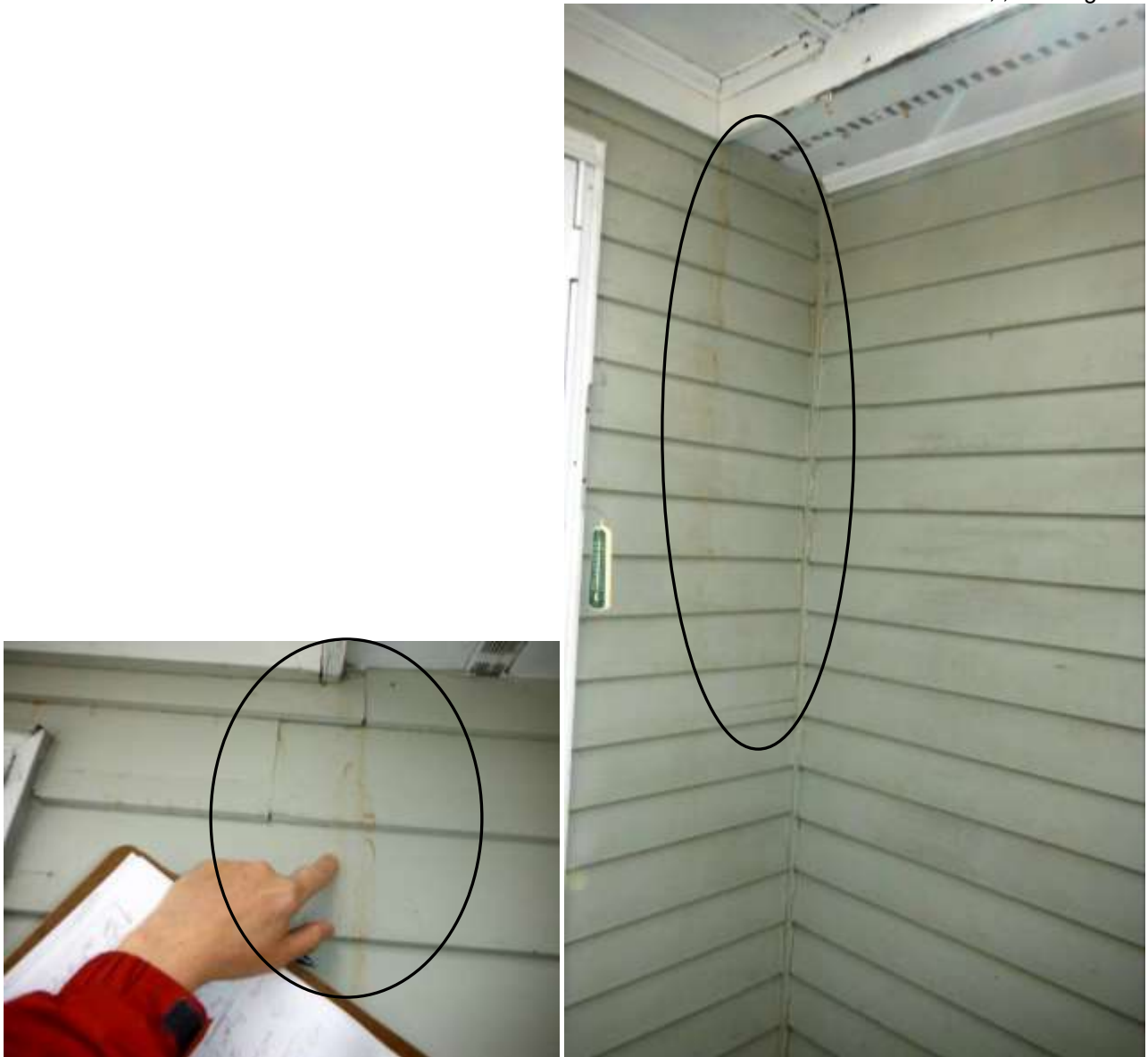


Figure 29 Leaking, water stains, poorly maintained exterior.



Figure 30 Rot on siding side wall/rook junctures.



Figure 31 Siding water damaged, warped, rot, etc. Missing flashings over windows, doors, etc.





Figure 32 Foundation cracks; have foundation contractor, engineer or building contractor evaluate all foundation cracks and make repairs.

EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE**SERVICE ENTRY**

- Underground Overhead *Weather head/mast needs repair* Condition: Sat. Marginal Poor
 Exterior outlets: Yes No Operative: Yes No *Overhead wires too low*
 GFCI present: Yes No Operative: Yes No power (by garage)
 Less than 3' from balcony/deck/windows
 Reverse polarity Open ground **Safety Hazard- recommend GFCI outlets for safety**

BUILDING(S) EXTERIOR WALL CONSTRUCTION

- Type: Not visible, inside walls Framed Masonry Other
 Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

- Patio Storm Entrance**
 Weather-stripping: Satisfactory Marginal Poor Missing Replace
 Door Condition: Satisfactory Marginal Poor

EXTERIOR A/C - HEAT PUMP

Location(s): outside r in rear (~20 yrs. old/past life)

- Unit #1 Brand: Goodman Outside shutoff: Yes No
 Condition: Poor- past life/replace cooling system. See heating section comments
 Rusted Level: Yes No
 Cabinet/housing rusted Condenser Fins: Damaged/bent/oxidized replace cooling system

GARAGE

- None Attached 2-3car (upper & lower garages) 4th- half car- modified
 Automatic Opener: Yes No Operable Inoperable Remote not available
 Safety Reverse Operable: Pressure reverse- not working Electric eye recommended
 Need repairs Safety hazard Recommend upgrading garage door opener(s)
 Roofing Material: Same as house
 Gutters : Poor
 Siding: Same as house
 Trim: Same as house
 Floor : Material: Concrete Oil /staining Floor & perimeter clutter
 Condition: Marginal Typical cracks Large settling cracks Recommend repair & cleaning
 Burners less than 18" above garage floor: N/A Yes No Safety hazard
 Sill Plates : Elevated Rotted/Damaged - evidence of carpenter ant frass/bodies & chewed drywall & joint tape-
 have structural carpenter evaluate for any hidden damage Recommend repair
 Overhead doors: N/A Wood Fiberglass Masonite Metal Recommend repair
 Satisfactory Marginal Poor Overhead door hardware loose Other
 Recommend Painting Inside & Edges: Recommend replacing the garage doors Weather-stripping missing/damaged
 Exterior Service Door: None Satisfactory Marginal Poor Damaged/Rusted
 Electricity Present: Yes No Not visible GFCI Present: Yes No Operates: Yes No
 Reverse polarity: Yes No Open ground: Yes No Safety hazard
 Handyman/extension cord wiring
 Firewall (Between garage & living area : N/A Present Missing
 Water/insect damage/possible mold Safety hazard(s) Recommend repair
 Holes walls/ceiling
 Have a structural carpenter determine extent of all water/structure/insect/mold-like damage and
 make repairs. Roof & gutters need to be replaced and all exterior damage repaired.
 Fire door: Not verifiable Not a fire door replace door to house for fire safety Satisfactory
 Moisture Stains Present: Yes No Typical Cracks: Yes No

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : There was evidence of carpenter ant frass/bodies, nests & chewed drywall & joint tape- have structural carpenter evaluate and rule out or determine any hidden damage. Have a licensed Pest Company treat for all wood destroying insects (carpenter ant, carpenter bee, etc.). See separate wood destroying insect report (NPMA-33). There was storage, clutter on floor & perimeter; check all areas when removed before closing. There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all damage (structure, mold & insect), repair holes/gaps and make repairs; firewall needs to be maintained. There was extensive water & insect damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork. A siding contractor and structural carpenter must evaluate extent of damage on exterior and interior of home including any concealed damage and make repairs. There were structural modifications made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.). There was a partition to right of main garage off laundry room; old garage door still present. There were large cracks on exterior foundation; have structural professional evaluate(engineer, building contractor/foundation contractor, etc.). The basement had finished ceilings and walls; structure inaccessible. All cracks on foundation and interior structural concerns (humps in floor, cracks/canted doors, sagging/twisted/separated joists, sloped flooring, etc.) should be evaluated and all structural repairs made by qualified contractors. The A/C system needs to be replaced along with the furnace; past expected life/poor condition. Recommend replacing door to home with an insulated fire door for safety and energy reasons. Recommend replacing the overhead garage doors and add newer openers with safety features (auto pressure revers & electric eyes). Recommend adding GFCI outlets in garage and exterior for safety. Have electrician also add dedicated garage door opener outlets. Have the auto pressure reverse corrected or repaired; not reversing when door with opener checked. Have outlets with no power checked by electrician. Remove extension cords for fire safety. Recommend replacing all rusted exterior light fixtures; possible water entry/shock hazard. There was a gas line hanging under deck; have plumber evaluate. Deck was built low; inaccessible under deck. Have electrician seal/putty the service drop penetrations; gaps and water entry. All foundation or house penetrations need to be caulked or sealed to keep out water. The radon mitigation was running at time of inspection. Recommend a licensed electrician evaluate all outlets and fixtures on exterior; need GFCI protection and replace rusted fixtures.

CONCERNS:

1. **There were structural modification made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.) . There were large cracks on exterior foundation, cracks in interior, canted doorways/closets, sloping floors, humps on flooring, temporary screw jack in basement, etc. Have structural professional evaluate(engineer, building contractor/foundation contractor, etc.) evaluate the home's structure including modifications and water & wood destroying insect damage and advise on all structural repairs.**
2. **There was water leaking into garage from roof and gutters and seepage; visible damage on ceiling. Have a structural carpenter or building contractor evaluate extent of all water damage (structure, mold & insect) and make repairs. There was extensive water & insect damage visible on exterior siding, trim, rake & fascia boards, soffits, and window frames or millwork. There was chewed drywall paper and carpenter ant frass & nests in sills and on floor; have carpenter evaluate behind drywall & damaged finished surfaces. A siding contractor and structural carpenter must evaluate extent of damage on exterior and interior of home including any concealed damage and make repairs.**
3. **The A/C system needs to be replaced along with the furnace; past expected life/poor condition.**
4. **There was chewed drywall paper and carpenter ant frass & nests in sills and on floor; have carpenter evaluate behind drywall & damaged finished surfaces. Have a licensed Pest Company treat for all wood destroying insects (carpenter ant, carpenter bee, etc.). See separate wood destroying insect report (NPMA-33).**
5. **Recommend replacing door to home with an insulated fire door for safety and energy reasons. Recommend upgrading garage doors and tighten the garage door chain; loose/unsafe. Have the auto pressure reverse corrected or repaired; not reversing when door with opener checked.**
6. **Have all walls & ceilings repaired to maintain firewall protection. Recommend upgrading door to a fire rated insulated door for fire safety.**
7. **Recommend an electrician add dedicated outlets for garage door(s), remove all extension cords and add GFCI outlets in garage & exterior for fire safety. Recommend replacing all rusted exterior light fixtures; possible water entry/shock hazard.**



Figure 33 Carpenter ant frass/nest, damage, and chewed paper; have a licensed Pest Company treat for all wood destroying insects.



Figure 34 Example of roof leaking & water damage in garage. Have a structural carpenter evaluate extent of all damage including water, mold & insect before closing. The home was poorly maintained and needs upgrades and repairs everywhere.

KITCHEN EAT-IN**COUNTERTOPS**

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Marginal Poor- peeled paint by stove Typical cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers for leaks, damage & mold before closing. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range Operates: Yes No
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No **Potential safety hazard(s)- add GFCI outlets**

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

1) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN EAT-IN : Add GFCI outlets for safety. See electrical section comments. There were lines on drywall in ceiling; see window/hallway section comments. There was peeled paint; possible from cooking or stove area. There was sloping on flooring; structure inaccessible. See basement section comments; structural concerns.

LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes evaluate* **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Dryer Water heater Furnace Cluttered

Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.

Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.

Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY : Clean dryer vent yearly and change flexible metal dryer hose for fire safety. Recommend metal braided washer hoses for added measure to prevent leaks. This room was cooler; have HVAC contractor evaluate heat to err on side of caution.*

BATHROOMS

BATH: MASTER BATH – OLD NEEDS UPGRADES

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
Loose: Yes No
Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal Poor
Hot water: Yes No
Cold water: Yes No

TOILET

Bowl Loose: Yes No
Operates: Yes No Toilet leaks *Cracked bowl/tank* *Cross connection*

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
Condition: Satisfactory Marginal/ Poor Rotted floors
Caulk/Grouting Needed: Yes No Where: all junctures
Functional Drainage: Adequate Poor
Functional Flow: Adequate Poor
Whirlpool Operable: N/A Yes No
Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
Outlets present: Yes No
G.F.C.I. Present: Yes No
Operates: Yes Wired to the adjacent sitting
room lights. Have a licensed electrician evaluate and separate/correct wiring.
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEATING / COOLING SOURCE

Yes No
Window/Door: Yes No Satisfactory Marginal Poor
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

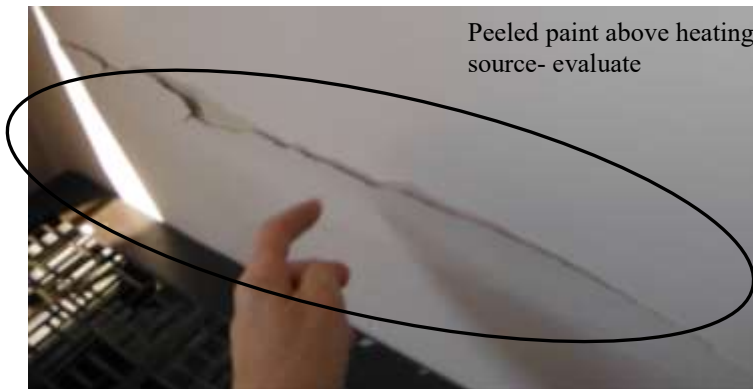
MASTER BATH (Old): There was calcium deposits on plumbing under sink; hard water. There was a water softener system in basement; see plumbing section comments. There was corrosion on piping/plumbing/valves in bathroom; upgrade plumbing. The outlet tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets. Have a licensed electrician evaluate the wiring/circuits and make repairs. Clean the exhaust fan periodically to maintain lint free. Caulk in tub/shower area and adjacent walls & flooring to maintain water tight seals. There is a skylight in this room; recommend replacing with new roof. See roof section comments. Have stopper handle connected; loose or detached. Recommend adding an access panel for this bathroom in adjacent room in case of plumbing repairs. Access panels should be added for all bathrooms. There was peeled paint above the heating source; have contractor evaluate/repair.

CONCERNS:

1. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets.
2. There is a skylight in this room; recommend replacing with new roof.
3. Have plumber and bathroom contractor evaluate sink & plumbing for replacements; upgrade bathroom.
4. There was peeled paint above the heating source; have contractor evaluate/repair.



Figure 35 Cracked & damaged sink basin; hygiene/health and leak concerns.



Peeled paint above heating source- evaluate

MAIN BATH: OLD

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: everywhere
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes Leaking skylight/roof Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

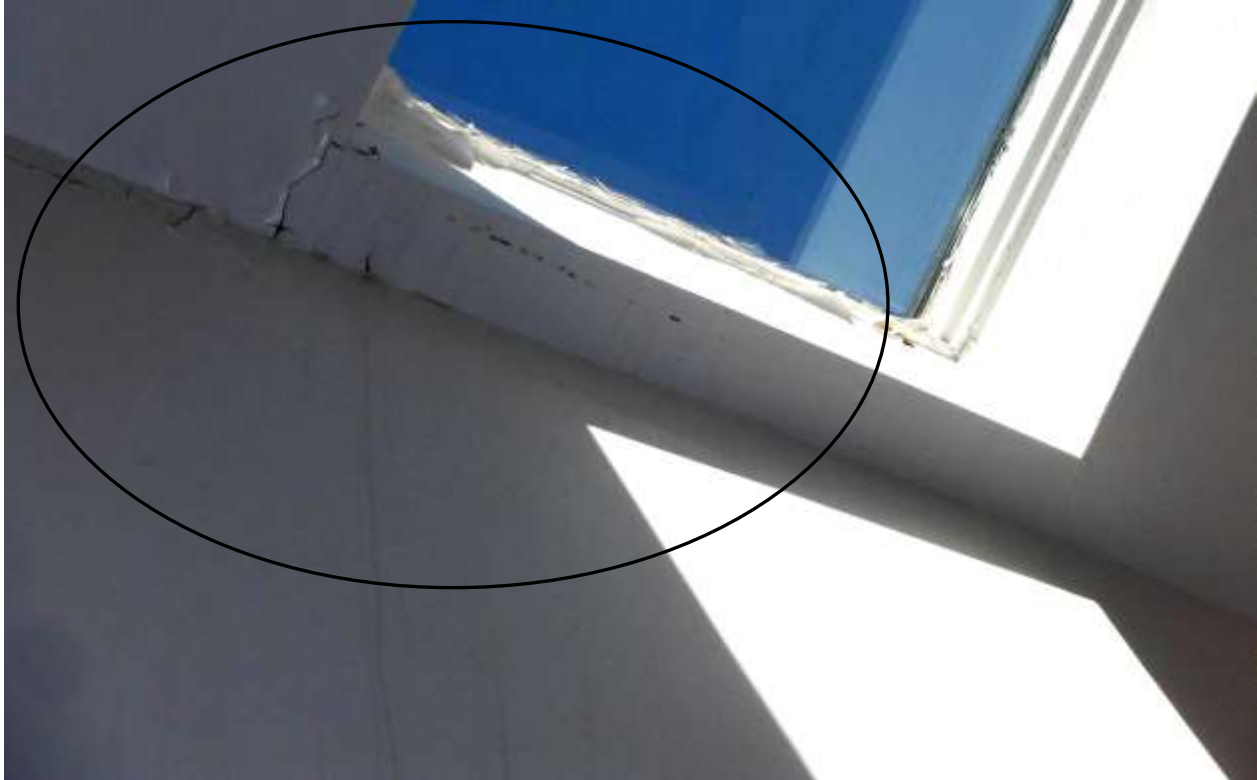
Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: No Noisy: Yes Replace exhaust fan for safety

GENERAL COMMENTS

MAIN BATH : The fan was not working; humming motor/safety concern. Have an electrician evaluate the exhaust fan and repair/replace. There was leaking around the skylight ; have replaced. Recommend cooler light bulbs; exposed vanity lighting with incandescent bulbs can get hot or cause burns if touched. There was erratic spraying on sink faucet; grit and calcium deposits in the aerator.

CONCERNS:

1. There was leaking skylight; have skylights replaced with roof. See roofing section comments.
2. Have an electrician evaluate the exhaust fan and repair/replace for safety; humming motor.





BATH: BASEMENT**SINKS / TUBS / SHOWERS**

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal **Poor**
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Plastic- low quality/rusted fasteners/unprofessional installation
 This bathroom needs to have closed permits- added to basement after time of build**

Condition: Poor handyman installation & poor quality- appears illegal**

Caulk/Grouting Needed: Yes No Where: everywhere

Functional Drainage: **have drain checked by plumber & if allowed on basement level****

Functional Flow: Adequate **corroded plumbing under sink**

Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No

G.F.C.I. present: Yes No Operates: Yes No

Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

No*- need heat in bathrooms or where water sources

Window/Door: Yes No Satisfactory Marginal Poor

Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

BATH BASEMENT (unconventional)**: The old sink appears to be from a kitchen, a toilet was added and a low quality shower stall. This bathroom was added by handyman or non-professional skill; poor condition. Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits; unconventional, improper installations and lacking proper building practices.** There was opened ceiling and plumbing repairs; gives indication of frozen pipes and plumbing repairs. There was no heat source in bathroom; need heat in bathrooms. There was heavy corrosion and leaking on plumbing in this bathroom. The bathroom needs to have proper exhaust fan(not working & no cover), GFCI outlets, heating source, and approved by all local building practices and required permitting. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection.

CONCERNS:

1. **Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in bathroom; need heat in bathrooms. The bathroom needs to have properly working exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting.**



Figure 36 Leaking, corrosion, old plumbing; have licensed plumber evaluate for plumbing upgrades throughout the home.



Figure 37 Opened ceiling and plumbing repairs; indication of frozen pipes/leak repairs. Have a bathroom contractor evaluate bathroom and upgrade with required permits.



Figure 38 Recommend a bathroom contractor evaluate the bathroom and advise on all upgrades. Low quality/poor shower stall; rusted, stained, etc.

LIVING ROOM

LOCATION:

Walls & Ceiling:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No Where:
Floor:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input checked="" type="checkbox"/> Poor- hump(s) <input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal <input type="checkbox"/> Poor
Electrical:	Switches:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> No <input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass	

GENERAL COMMENTS

LIVING ROOM : There is a wood fireplace in this room; have chimney contractor evaluate/inspect. See chimney section comments; damage. There were humps in flooring by the front right wall. The basement was finished and structure inaccessible. There were water or moisture stains on ceiling below this area. Recommend a structural carpenter further evaluate structure and advise on all structural repairs.

CONCERNS:

1. Recommend a structural carpenter further evaluate structure and advise on all structural repairs.



Figure 39 Have humps/warped boards/structure evaluated by contractor or engineer.

SITTING ROOM OFF KITCHEN

LOCATION:

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Slopes
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Safety Hazard
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> Doors	<input type="checkbox"/> Walls
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Ceilings	
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes
		<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
			<input type="checkbox"/> No	<input type="checkbox"/> Missing
				<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

SITTING ROOM OFF KITCHEN : There was an abandoned drain pipe with a rag inside and capped copper water lines; have plumber terminate below and /or cap off drain. The lights or electrical went off when the master bathroom outlets were tripped or tested. Have a licensed electrician evaluate and separate lighting or electrical in this room off the bathroom circuit.

CONCERNS:

1. Have plumber cap off or remove all plumbing in this room.
2. Have a licensed electrician evaluate and separate lighting or electrical in this room off the bathroom circuit.



Figure 40 Drain with rag inside; have plumber cap off or remove all plumbing from below.

MASTER BEDROOM

LOCATION: FRONT

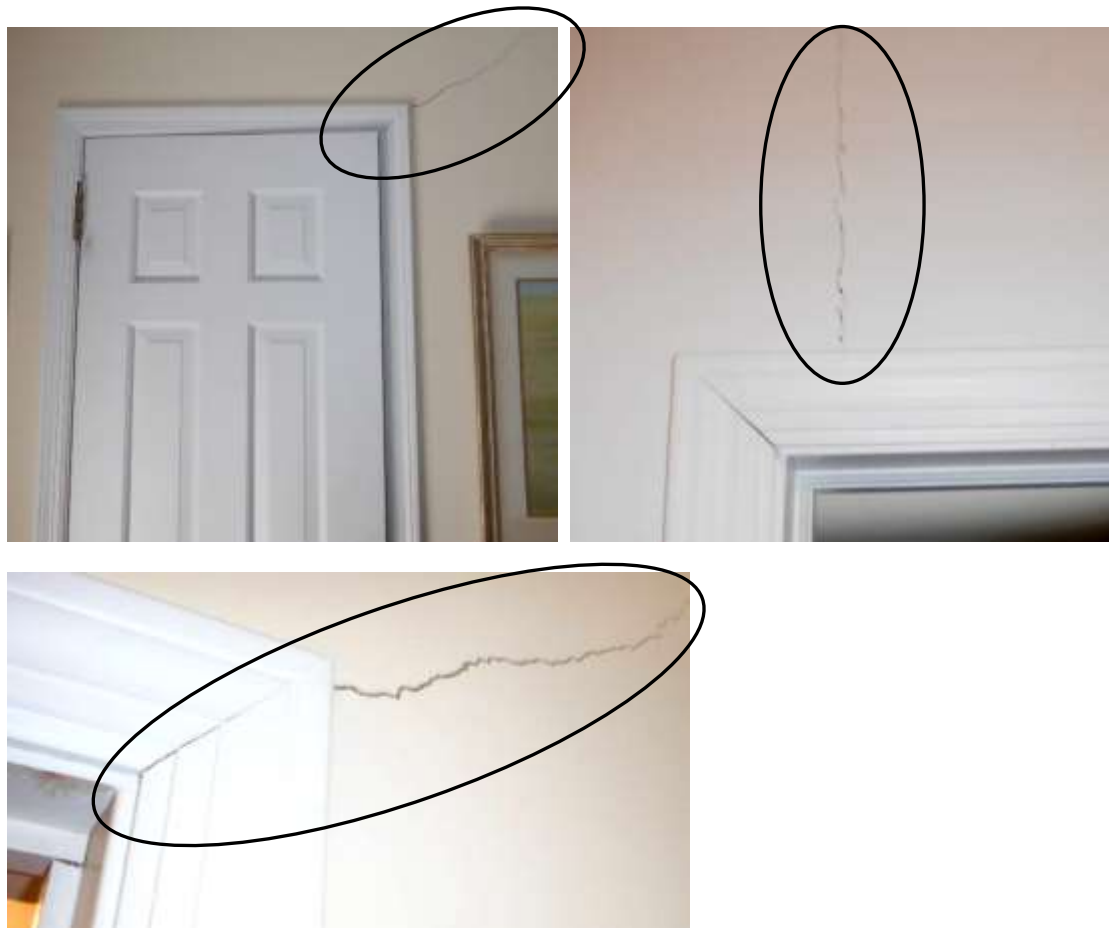
Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> No- have evaluated**		
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No*	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM FRONT : There were cracks around left closet door, framing canted (not plumb) and closet door not closing.* The crack goes through into closet; structural concerns. The basement below was finished with drywall; structure inaccessible. Have a structural carpenter further evaluate and advise on all structural repairs. There was a wood burning stove in room; no visible fire stop in attic; fire safety concern. See chimney & fireplace section comments.

CONCERNS:

1. Have a structural contractor (builder, engineer, structural carpenter, etc.) evaluate the structure; canted doorway, door not closing/not plumb, crack through into closet, etc. **



#2 BEDROOM

LOCATION: REAR LEFT

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Inadequate*	Holes:	<input type="checkbox"/> Doors	<input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

#2 BEDROOM REAR LEFT : There was inadequate heat in this room; two registers on right wall. There was an old gas space heater installed over one of the floor registers; unconventional/handyman installation. Gas space heater in this room and basement were not tested; recommend removal by contractor. Have an HVAC (heating & cooling)contractor evaluate for proper heating & cooling. This room appears added after time of build; obtain all closed permits for all structural additions & modifications.

CONCERNS:

1. **Inadequate heating & cooling in room.* Old gas space heater should be removed; safety concerns. Have a qualified HVAC contractor evaluate for proper heating & cooling.**
2. **This room appears added after time of build; obtain all closed permits for all structural additions & modifications.**

WINDOWS/FIREPLACES/HALL/ATTIC**INTERIOR WINDOWS / GLASS**

Condition: older Marginal Poor Needs repair Painted shut (See remarks page)
 Representative number of windows operated Ask if windows under warranty
Evidence of Broken Vapor seals : Yes No N/A **Safety Glazing Needed:** Yes No
 Glazing compound needed Cracked glass Hardware missing Broken counter-balance mechanism
Security Bars Present: N/A Yes No Not tested Safety hazard Test release mechanism before moving in

FIREPLACE

None Location(s): Living room, master bedroom*, basement*

Recommend having flue cleaned and re-examined

Type: Gas (Not Tested) Wood Wood burner stove* (See remarks page) Electric Ventless

Material: Masonry Metal (pre-fabricated) Metal insert

Miscellaneous: Blower built-in Operates: Yes No **Damper operates:** Yes No

Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair

Damper Modified for Gas Operation: Yes No N/A Damper missing Pre-fab panels damaged/worn

Hearth Adequate: Yes No **Mantle:** N/A Satisfactory Adequate Loose/missing

Physical Condition: Satisfactory Marginal Poor

STAIRS / STEPS / BALCONIES

Satisfactory Marginal Poor None

Handrail: Satisfactory Add railing in attic around stairwell – fall hazard

Loose; secure properly

Risers/Treads: Satisfactory Marginal Poor Risers/Treads uneven/unsafe

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

Present: Smoke Detector: Yes No **Operates:** Yes No Not tested

CO Detector: Yes No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION

N/A

Access: Stairs Pull down Scuttle hole/Hatch No access Other

Inspected From: Access panel In the attic Other

Location: Bedroom hall Bedroom closet Garage Other

Access Limited By: lack of flooring

Flooring: Complete Partial None- most

Insulation: Type: fiberglass Batts Loose Average inches: 3+ Approx. R-rating: Unknown

Installed In: Rafters Walls Between ceiling joists Not visible

Recommend more Ventilation

Note: Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

Ventilation: Yes No Ventilation appears adequate Recommend additional ventilation

Need more Ventilation to avoid ongoing mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage

Fans Exhausted To: N/A Attic: Yes No Outside: Yes No Not visible

HVAC Duct: N/A Damaged Split Disconnected Leaking Repair/Replace

Chimney Chase: N/A Satisfactory Leaking/staining (sheathing & rafters)

Structural Problems Observed: discoloration- possible mold on sheathing

Recommend evaluation/replace stained/damaged sheathing

Recommend Structural Engineer

Roof Structure: Rafters Trusses Wood Metal Other

Collar Ties Present: Yes No N/A

Roof Sheathing: Plywood Rotted Stained Leaking/water stains- sheathing, rafters

Evidence of Condensation/Moisture Leaking: Yes No (See remarks page)

Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.

Ceiling Joists: Wood Metal Other Not visible

Vapor Barriers: Kraft/foil faced Plastic Not visible Improperly installed

Firewall Between Units: N/A Yes No Needs repair/sealing (See remarks page)

Indication of Past fire damage No Recommend checking with Local fire Marshall and Township

Electrical: Open junction box(es) Handyman wiring Visible knob-and-tube Loose wires/live wires

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. Obtain all closed permits for installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. Recommend baffles at eaves and perforated soffits, ridge vents, etc.; attic had poor ventilation. See roofing section comments. There was poor ventilation; pine sap oozing on roof structure, condensate drip marks on floor boards (nails freeze/ice up & drip onto floor) and mold-like staining on roof sheathing (plywood). There was leaking into interior of home; water stains and damage (garage, around chimney/attic, etc.). There was darkening on roof sheathing (plywood) or possible mold-like; multi-layer roof, poor ventilation & high humidity. There were water stains around chimney/rafters/sheathing/floor boards; have roofer evaluate for new roof, gutters, ventilation. There was drywall ceiling sagging and visible joint seams throughout the home; have a contractor evaluate and advise on repairs. There were sloped flooring, canted doorways/closets, etc.; structural concerns. See basement section – structural comments. Have a railing installed around stairwell for safety. Recommend an electrician evaluate the fan in attic; extension cord/plug in and no grille; safety hazard.

CONCERNS:

1. There was poor ventilation in attic; mold-like dark staining on roof sheathing (plywood) and pine sap oozing out of wood on roof structure. Have a ventilation contractor or qualified roofer evaluate for more ventilation. Recommend baffles at eaves and perforated soffits, ridge vents, etc.; attic had poor ventilation. There was leaking around chimney and into home (skylights, garage, etc.)
2. There was drywall ceiling sagging and visible joint seams throughout the home; have a contractor evaluate and advise on repairs. There were sloped flooring, canted doorways/closets, etc.; structural concerns. See basement section – structural comments.
3. Obtain all closed permits for installed wood burning stoves and gas space heater (bedroom #2 & basement). There was missing fire stop on metal chimney going through attic; fire safety hazard. There was chimney damage; cracks, deterioration, moss/staining, etc. Have a chimney contractor evaluate chimney/flues and advise on all repairs. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety.
4. Have a railing installed around stairwell for safety. Recommend an electrician evaluate the fan in attic; extension cord/plug in and no grille; safety hazard.



Figure 41 Attic fan had not grille and not wired with power switch; safety hazards.

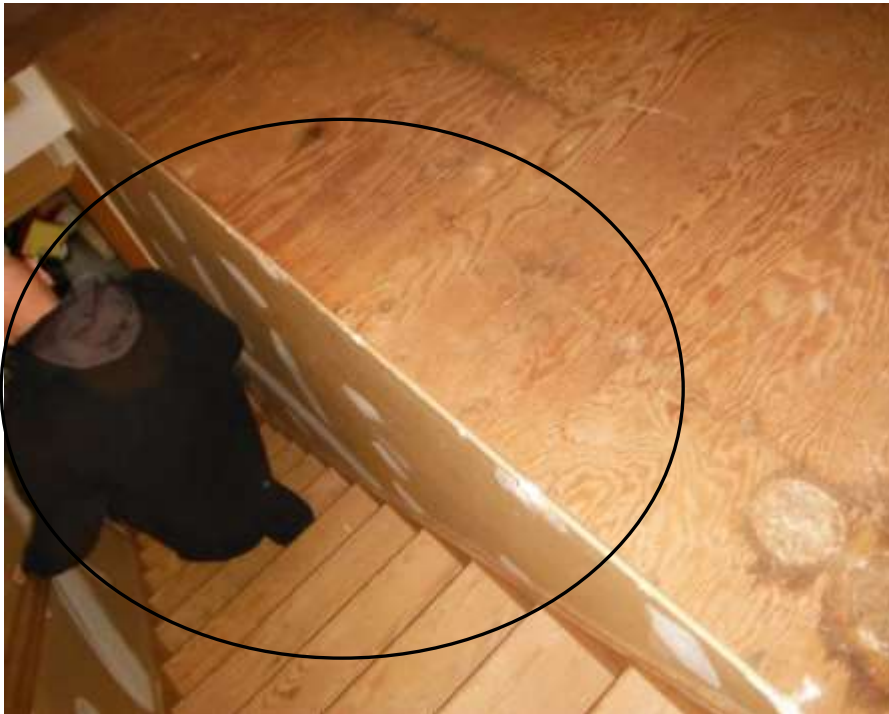


Figure 42 Need a railing for safety.



Figure 43 Example of mold like staining in attic; have affected plywood evaluated for replacement.



Figure 44 Example of mold like staining in attic; have affected plywood evaluated for replacement.

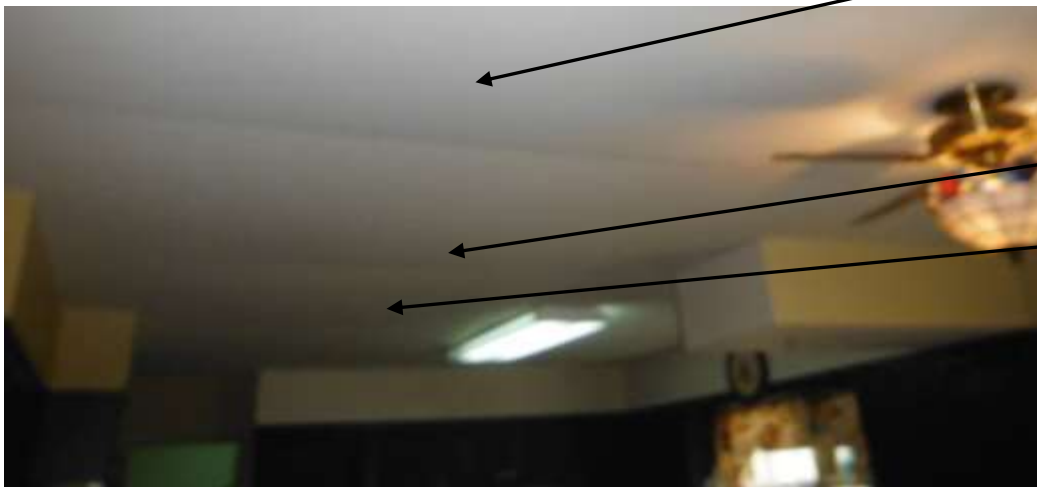


Figure 45 Example of drywall sagging & visible joint lines throughout house; have contractor evaluate and advise on repairs.

FINISHED BASEMENT

STAIRS N/A

Condition: Satisfactory Marginal Poor Typical wear and tear Need repair
Handrail: Yes No **Condition:** Satisfactory Loose
Headway Over Stairs: Satisfactory *Low clearance* *Safety hazard*

FOUNDATION

Condition: Satisfactory- limited view Finished walls in basement- have all foundation cracks evaluated by structural engineer, builder or foundation repair contractor **structure concealed**

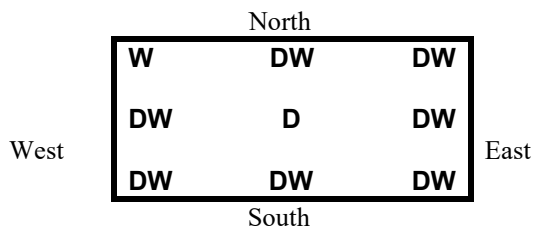
Material: Concrete block Fieldstone Poured concrete Hollow clay tiles (1930's)
Horizontal Cracks: not visible- drywall **Step Cracks:** not visible- drywall
Vertical Cracks: Yes No Typical **Covered Walls:** Yes Drywall
Movement Apparent: not visible/drywall **Indication of Moisture:** Yes seepage Fresh Old stains

Condition reported above reflects visible portion only

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling C = Crack(s)
 D = Drywall M = Monitor
 S = Storage E = Evaluate
 W=Water/moisture, seepage, efflorescence



FLOOR

Material: Concrete Dirt/Gravel Not visible Other
Condition: Satisfactory Marginal Poor Typical cracks Large cracks Entire basement cluttered

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS

N/A None visible Appear satisfactory Recommend evaluation

BASEMENT DRAINAGE

Indication of moisture: Yes Seepage Fresh Old stains
 Environmental Hazards: Mold, etc. are Not part of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

Basements are not intended for legal bedrooms or living spaces unless deemed by local township which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

Sump Pump: Yes No **Tested:** Yes No Working Not working Needs cleaning *Not tested*
Floor Drains: Yes No Not visible Efflorescence present Recommend dehumidifier

Note: *Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.*

GIRDERS / BEAMS / COLUMNS

Material: Steel Wood Block Concrete Not visible
Condition: Satisfactory

electrical wire nuts behind ceilings- unsafe. Have electrician evaluate home and make all repairs. Obtain all closed permits for electrical & finished basement- safety hazards.
 Poor – **temporary screw jack** Stained/rusted

JOISTS

Material: Wood Steel Truss Not visible- most
Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR

Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space

GENERAL COMMENTS

FINISHED BASEMENT : There were humped or warped floor boards in living room. There was a temporary screw jack under flooring in rear section of home where ceiling opened, warped joist, solid blocking added & separated. There were cracks around left closet door, framing canted (not plumb) and closet door not closing. The crack goes through into closet; structural concerns. The basement below was mostly finished with drywall; structure inaccessible. There were cracks on foundation observed on exterior. The basement was finished and there were additions or structural modifications to home including a bathroom in basement (handyman). The rear left basement had unfinished trim around basement windows. Have structural professional evaluate (engineer, building contractor/foundation contractor, structural carpenter, etc.) evaluate the home's structure including modifications and water & wood destroying insect damage and advise on all structural repairs. There were open ceiling sections by basement bathroom and near the temporary screw jack; wire nuts between floor joists. Wiring needs to be corrected by a licensed electrician. There were improper electrical wiring & installations that need to be in junction boxes and accessible/not behind drywall. See electrical section comments. Recommend obtaining all required township permits "closed/final" for all structural modifications, additions/bathrooms, finished basement, etc. before closing. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and ntiaonla building practices. Recommend a qualified builder and tradesmen (electricians, plumbers, etc.) evaluate the home and advise on all corrections and ensure work is done with proper building and township permits. There was efflorescence, water stains and signs of water seepage in basement. Recommend a water management system for preventative measures to ensure a dry basement. Gutters were not functioning properly and in poor condition. Recommend replacing gutters with new roof and extend away from home (8+ft.) for water drainage. There was negative grading on exterior and a pit or cavity under deck; water draining to foundation and basement. Exterior conditions are contributing to water seepage in basement. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Have wet basement damp proofer contractor evaluate for water management system(s) to ensure a dry basement. There was a wood burning stove in basement; obtain all closed permits for this appliance, the one in master bedroom, etc. See chimney & fireplace section comments. Wood stoves are not tested or lighted up; beyond scope of a home inspection.

CONCERNS:

1. There were structural modifications made to home after time of build; obtain all closed permits/inspections and documentation (engineering/architectural drawings, plans, etc.) . There were large cracks on exterior foundation, cracks in interior, canted doorways/closets, sloping floors, humps on flooring, temporary screw jack in basement, etc. Have structural professional evaluate(engineer, building contractor/foundation contractor, etc.) evaluate the home's structure including modifications, foundation cracks, water & wood destroying insect damage and advise on all structural repairs.
2. There was a wood burning stove in basement; obtain all closed/final permits for this appliance. Wood stoves are not tested or lighted up; beyond scope of a home inspection.
3. There was water seepage in basement; staining and efflorescence observed. Have wet basement damp proofer contractor evaluate for water management system(s) to ensure a dry basement. Have gutters replaced with roof and correct all negative grading & soil erosion on exterior. See "grounds" section comments.







PLUMBING**WATER SERVICE****Main Shut-off Location:** basement by well equipment All home will have plumbing repairs/upgrades at some point- monitor plumbing**Water Entry Piping:** Not visible Copper/Galv. Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown**Visible Water Distribution Piping:** Copper Galvanized Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown**Condition:** Satisfactory Marginal Poor**Lead Other Than Solder Joints:** Yes No Unknown Service entry**Functional Flow:** Adequate Low Poor Water pressure over 80 psi; high**Pipes, Supply/Drain:** Corroded Leaking Valves broken/missing Dissimilar metal**Drain/Waste/Vent Pipe:** Copper Cast iron Galvanized PVC ABS**Condition:** Satisfactory Marginal Poor **Cross connection:** not visible**Support/Insulation:** Type: --**Traps Proper P-Type:** N/A Yes No; some S-type or other P-traps recommended**Functional Drainage:** Adequate Poor, slow Recommend plumber evaluate**Interior Fuel Storage System:** Yes No Leaking: Yes No**Gas Line:** Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible**Condition:** Satisfactory Marginal Gas lines under deck improperly installed NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.**MAIN FUEL SHUT-OFF LOCATION
FIXTURES IN HOME**

By propane tank- exterior

 N/A All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.**Note:** Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure.

Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP Submersible- all well equipment needs to be inspected by a well contractor & water tested by a well water testing laboratory**Storage tank Location:** In basement Well house Well pit Shared well**Pressure Gauge Operates:** Yes No Unknown Well pressure: 45 psi Not visible Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.**SANITARY / GRINDER PUMP** N/A**WATER HEATER #1** N/A**Condition:** Satisfactory Marginal Poor**Brand name:** AO Smith**Type:** Gas Electric Oil Propane**Unit Elevated:** Yes No N/A Tank/Piping corroded/leaking**Capacity:** 50 gallons Approximate age: ~2011 (3 yrs.)**Combustion Air Venting Present:** Yes No N/A Seismic restraints needed: Yes No N/A**Relief Valve:** Yes No **Extension proper:** Yes No Missing Recommend repair**Vent Pipe:** N/A- electric tank Satisfactory Pitch proper Improper Rusted Recommend repair**WATER SOFTENER**(Unit not evaluated) Not part of home inspection**Loop Installed:** Yes No **Plumbing Hooked Up:** Yes No**Softener Present:** Yes No **Plumbing Leaking:** Yes No**NOTE:** Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home.**This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.**

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Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: There was calcium deposits on plumbing and fixtures in home; indication of hard water. There was a water softener system connected in home; have the company or installer evaluate system and equipment (not part of home inspection). Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time and if there is hard water in home. Hard water can cause fixtures to clog resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. The well equipment had a contact on storage tank; follow-up with the well company for inspection and service of all well equipment (not part of home inspection). Have water tested before closing; follow-up with seller. Recommend insulating all well piping and plumbing to avoid sweating pipes or condensate. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumbing in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. Leaking or corroded plumbing in ceilings were open; indication of frozen piping and plumbing leaks. There were repaired pipes in basement bathroom; indication of frozen pipes. There was no heat in basement bathroom and inadequate heating in finished basement. Rooms with plumbing should be properly heated to avoid frozen pipes, leaking or flooding. There was corrosion on plumbing in home (piping, valves, fittings, etc.). Bathrooms were old and the basement bathroom was installed improperly; appears illegal. Have a licensed plumber evaluate the home for plumbing upgrades everywhere. Obtain documentation and closed permits for all bathroom(s) added after time of build; handyman or non-professional workmanship. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. Obtain closed permits for installed hot water heater. Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in basement bathroom; need heat in bathrooms. The bathroom needs to have proper exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting. There was older plumbing in home (piping, valves, fittings, fixtures) and bathrooms and kitchen. Have a building contractor and licensed plumber evaluate home for plumbing and kitchen & bathroom upgrades. The basement bathroom was unconventional and lacking proper building practice; appears illegal.** Obtain the septic inspectors report and documentation for all septic repairs/replacements and any transferrable warranty for system. The open cavity for septic testing or repairs should be fenced off for safety.

CONCERNS:

- 1. Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. The bathroom was unconventional and lacking proper building practice; appears illegal.** Recommend a bathroom contractor evaluate bathroom and have upgraded with township permits. There was opened ceiling and plumbing repairs; gives indication of frozen pipes and repairs. There was no heat source in basement bathroom; need heat in bathrooms. The bathroom needs to have proper exhaust fan, GFCI outlets, heating source, and approved by all local building practices and required permitting. There was older plumbing in home (piping, valves, fittings, fixtures) and bathrooms and kitchen. Have a building contractor and licensed plumber evaluate home for plumbing and kitchen & bathroom upgrades. Have all dark staining where leaking in home checked for mold; beyond the scope of a home inspection.**
- 2. Obtain the septic inspectors report and documentation for all septic repairs/replacements and any transferrable warranty for system. The open cavity for septic testing or repairs should be fenced off for safety.**



Figure 46 Open cavity for septic work or testing; fall hazard. Recommend fencing around open pit.

HEATING**HEATING SYSTEM - UNIT #1**Location: **basement**

(See remarks page)

Brand name: Tappan **Approximate age: original to home** ~41 yrs. old

Ducts: Have ducts cleaned **Energy Source:** Gas LP(propane) Oil Electric

Warm Air System: Belt drive Direct drive Gravity Central system Floor/Wall unit

Heat Exchanger: N/A (sealed) Past life Flame distortion Rusted flame rollout

Carbon Monoxide: N/A Detected at Plenum/Register Not tested

CO Test: Yes No **Combustion Air Venting Present:** Yes No N/A

Controls: Disconnect: Yes No Normal operating and safety controls observed

Distribution: Metal duct Insul. flex duct Cold air returns Duct board Asbestos-like wrap

Flue Piping: N/A Rusted Improper slope Safety hazard

Supports for Piping/Insulation: N/A Yes No

Filter: Standard Electrostatic Satisfactory Needs cleaning/replacement Missing

When Turned On By Thermostat: Fired Did not fire **Proper Operation:** No** Not tested

Heat Pump: Aux. electric Aux. gas N/A **Sub-Slab ducts:** Yes No N/A

System Not Operated Due To: Exterior temperature Other Recommend testing prior to closing

Recommend technician examine yearly **System Condition:** Satisfactory Marginal Poor

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend testing prior to closing

OTHER SYSTEMS

N/A Electric baseboard Radiant ceiling cable

Gas space heater- basement and Bedroom #2- old- have removed and install safe heating*

Wood burning stove (See Remarks page)

Proper Operation: Yes Not turned on- old /need to be replaced*

System Condition: Satisfactory Marginal Poor

GENERAL COMMENTS

HEATING: Recommend a property tank scan to rule out any buried oil tanks on property. There were gas space heaters in basement and in bedroom #2; have an HVAC contractor evaluate and replace with proper heating sources for rooms. Obtain all closed permits for additions/finished rooms including HVAC replaced closed permits. Bedroom #2 had an old gas space heater installed over a heating register; unconventional/safety concern. Recommend the contractor remove the old gas space heaters; safety concerns. The furnace was original to home or approximately 41 yrs. Old. Unit was in poor condition; flame distortion, flame rollout (safety hazard), rust, corrosion, poorly maintained.** Have an HVAC contractor evaluate the furnace and cooling systems for replacements. Have the contractor evaluate bedroom #2, basement bathroom and finished basement for heating & cooling sources; inadequate heating. Have laundry room check for heat; too cool in room. Recommend removing the old "humidifier" on furnace; not in use and old (found unplugged). There are typically 30, 60, 90 day filters, washable filters, etc.; personal choice. Recommend having ducts cleaned professionally yearly or as recommended by duct cleaning contractor for good indoor air quality.

CONCERNS:

1. The furnace was original to home or approximately 41 yrs. Old. Unit was in poor condition; flame distortion, flame rollout (safety hazard/dangerous), rust, corrosion, poorly maintained.** Have an HVAC contractor evaluate the furnace and cooling systems for replacements. Have the contractor evaluate bedroom #2, basement bathroom and finished basement for heating & cooling sources; inadequate heating. Recommend removing the old "humidifier" on furnace; not in use and old (found unplugged).
2. Recommend a property tank sweep to rule out any buried oil tanks on property before closing.

COOLING

COOLING SYSTEM – UNIT #1 Central system Goodman Location: **outside** Age: ~20+ yrs.
Energy Source: Electric Gas Water Other
Unit Type: Air cooled Water cooled Gas chiller Geothermal Heat pump
Evaporator Coil: Satisfactory Not visible Needs cleaning Damaged
Refrigerant lines: Leak Damage **Insulation missing/damaged** Satisfactory
Condensate Line/Drain: To exterior To pump Floor drain Laundry sink Other
Temperature Differential : Unit 1 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit *(See remarks page)*

Compressor Condition: Satisfactory Marginal Poor Rusted Damaged fins/oxidized

Operation: Satisfactory: Yes No **Not operated due to exterior temperature**

Recommend HVAC technician examine/clean/service yearly

Note: If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

GENERAL COMMENTS

COOLING : The A/C system needs to be replaced along with the furnace; past expected life/poor condition. See heating section comments.

CONCERNS:

1. The A/C system needs to be replaced along with the furnace; past expected life/poor condition.

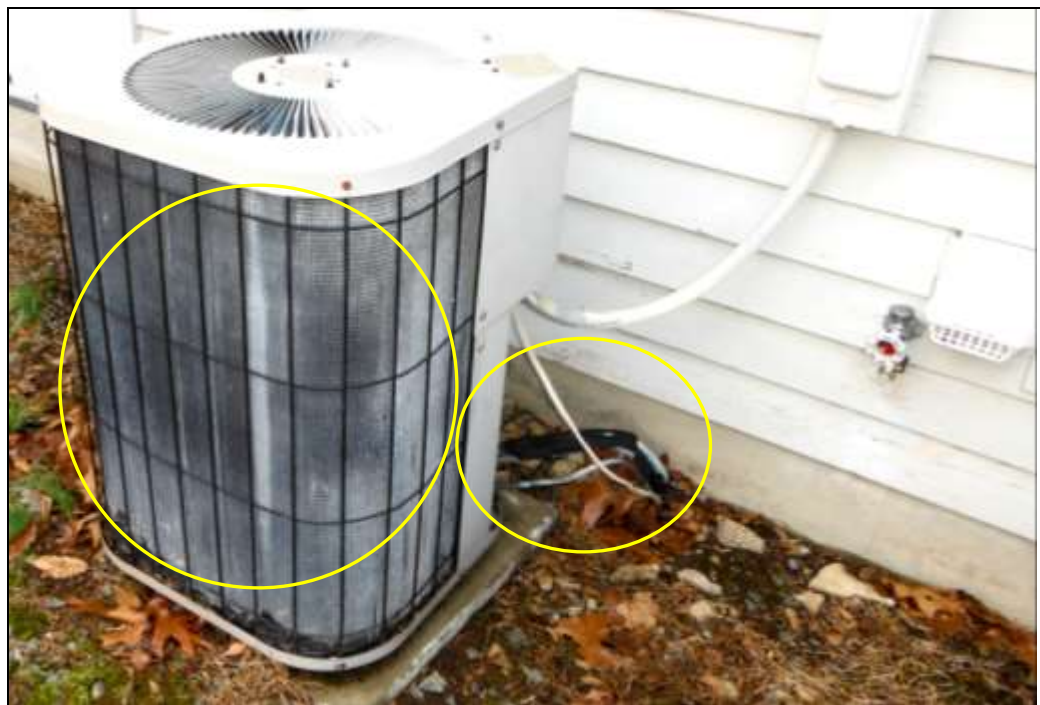


Figure 47 A/C past life & poor condition; damaged/flaking/oxidized fins, rust and corrosion, damaged insulation, etc.; have HVAC contractor evaluate the HVAC (heating & cooling) systems for replacements.

ELECTRICAL

MAIN PANEL Location: **basement** Condition: Marginal Original, Older Push-o-matic**
Adequate Clearance To Panel: Yes No Amperage: 200 Volts 120/240 Breakers No Spares
Appears Grounded: Yes No Old/original panel
G.F.C.I. present: Yes CB#14 (master bath)* **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
 Tapping before the main breaker *Double tapping of the main wire*
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube****
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers Fuses
 Location 1: **basement by furnace**
Predominant Branch Wire: Copper Aluminum Copper clad aluminum
 Neutral/ground separated: Yes No Neutral isolated: Yes No **Safety hazard**
Condition: Satisfactory Marginal Poor **Recommend separating/isolating neutrals**

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal **Poor- handyman wiring/hazardous/dangerous**
 Not accessible, clutter, furniture
 Exposed wire nuts in ceilings (basement)- unsafe/improper
 loose hanging wires/boxes, etc.- unsafe Reverse polarity GFCIs recommended
 Solid conductor aluminum branch wiring circuits* (See remarks page)
 Ungrounded 3-prong outlets **Recommend electrician evaluate/repair***

GENERAL COMMENTS

ELECTRICAL: There is an older push-o-matic panel in garage.** Breakers or parts can be costly if found or often hard to find replacements or breakers when adding them. There was sloppy wiring inside panelboard; loose, not bundles, wires crossing over terminals, wire nut pigtails, etc. Have electrician separate & isolate the neutrals and grounds in the sub panel for safety. Recommend upgrading panel. Recommend a dedicated outlet(s) for garage door opener; extension cords are fire hazards. There was handyman electrical box in rear left basement by the lower bathroom; fire/shock hazard. There was handyman wiring in home and extension cords, multipliers or overloaded outlets; safety hazard. There were holes in basement ceilings where wire nuts exposed and not properly installed in junction boxes throughout the basement or house; **unsafe/improper**. Finished basement had handyman installations; safety hazards. Recommend obtaining all closed permits for finished basement and structural modifications. Permits should include electrical, construction, etc. and all work done to home evaluated by a qualified contractor and corrections made with permits. Leaking or corroded plumbing in ceilings were open; indication of frozen piping and plumbing leaks. Recommend a licensed electrician evaluate panel and advise on repairs throughout the home. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room.* The circuit tripped in the main panel CB#14 for bathroom GFCI outlets.* Have a licensed electrician evaluate the wiring/circuits and make repairs. Home needs electrical upgrades throughout home, garage and exterior. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such as sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits. There were a few unknown toggle type switches in home that do not appear to operate anything; have electrician evaluate these switches. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and unconventional building practices. Recommend a qualified builder and tradesmen (electricians, plumbers, etc.) evaluate the home and advise on all corrections and ensure work is done with proper building and township permits.

CONCERNS:

1. Have electrician separate & isolate the neutrals and grounds in the sub panel for safety. There are no spares in the main panel for future use. Recommend upgrading main panel; push-o-matics are a very old panel and difficult/expensive to obtain parts or breakers. Have electrician clean-up/correct all handyman/improper wiring/installations and safety hazards in home. Recommend adding GFCI outlets on exterior and where damp or wet for safety. Recommend a licensed electrician evaluate panel and advise on repairs throughout the home.
2. The master bathroom outlet was tested or tripped and shut off the lighting or electrical in the adjacent sitting room. The circuit tripped in the main panel CB#14 for bathroom GFCI outlets.
3. Work done in finished basement or where additions & modifications done had non-professional or handyman/improper workmanship and unconventional building practices. Recommend a qualified builder and tradesmen (electricians, plumbers, etc.) evaluate the home and advise on all corrections and ensure work is done with proper building and township permits.



Figure 48 Have these switches evaluated; unknown what they control.

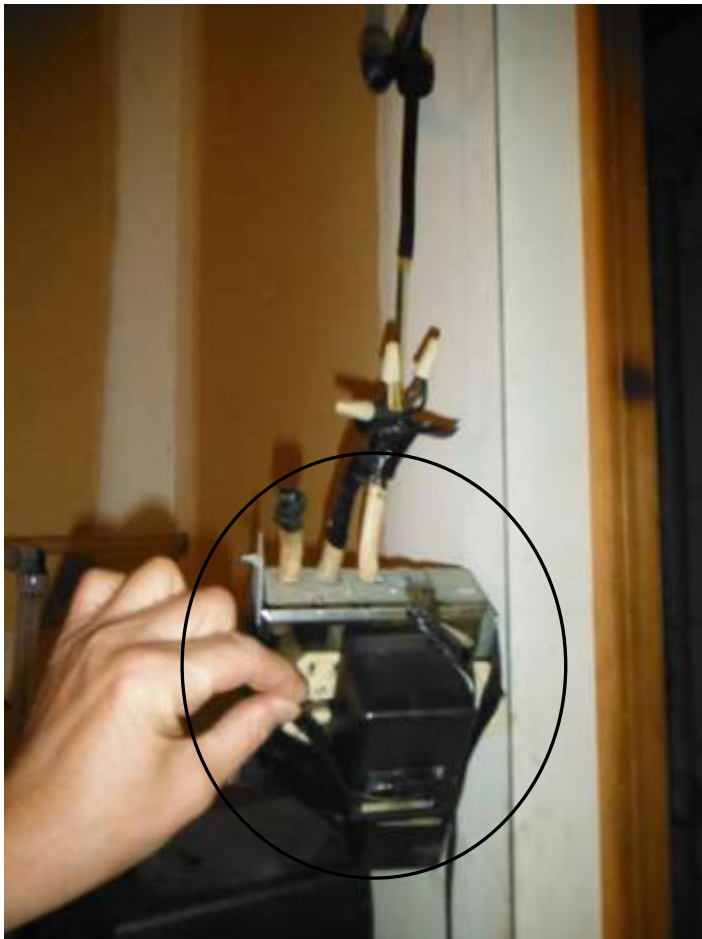


Figure 9 Example of handyman/improper /hazardous wiring or installations in home. Have a licensed electrician evaluate electrical and make corrections/repairs for safety.